



Ref: 190528(1): AH/CS

16 July 2020

Central Coast Council
PO Box 20,
Wyong NSW 229

Att: Janice Buteux-Wheeler

Dear Janice,

**RE: DA/163/2020 – Response to Council Letter, Proposed Seniors Housing Facility
125-135 Johns Road, WADALBA & 95 Murrawal Road, WYONGAH**

Reference is made to DA/163/2020 for a proposed Seniors Housing Facility to be located at 125-135 Johns Road, Wadalba, and 95 Murrawal Road, Wyongah.

The purpose of this letter is to respond, in part, to issues raised in Council's letter dated 11 June 2020 and Record of Briefing issued by the Panel dated 25 May 2020.

We attempted to lodge a copy of this letter and attachment via the NSW Planning Portal, but understand that as Central Coast Council has only recently subscribed to this System, the upload to portal is not available yet. We respectfully request that Council consider this letter as a formal request for Council accept this revised material pursuant to Cl. 55 of the Environmental Planning and Regulations 2000.

Attached to this letter is a set of revised Architectural Plans located at **Appendix A**. Whilst not all outstanding issues have been addressed, the intent of the amended plans is a show of good faith to Council that the proposed development is capable of approval, in order to prevent a premature determination of the application. Where further deficiencies have been identified and not responded to in this submission, we propose to do so in the very near future once Council has undertaken a preliminary review of the submitted amended plans and we have briefly discussed those amendments.

The main changes to the Architectural Plans are described as follows:

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- **Revised Floor Levels**

Levels across the site have been amended.. This amendment results in a 3m change to levels across the site, which in turn, results in smaller retaining walls in the north western and south eastern corners of the site. The effect of this change is a development that is more sympathetic to adjoining land uses, particularly the future public road to the west of the site and the large lot residential dwelling to the east. In addition, the revised levels result in approximately equal levels of cut and fill. Layout changes comprise the replacement of four 'Up/Down' buildings with two 'Dual Villa' buildings (loss of eight overall units)

- **Stepped Retaining Walls along North Western boundary**

As mentioned above, the revised levels have resulted in smaller retaining walls along the north western boundary. In addition, the retaining required along this boundary will be 'stepped' back into the site via two 1m retaining walls. The levels in between each 'step' will be landscaped to soften the visual impact of the walls and to increase amenity of the streetscape. Cross sections demonstrating the transition between sites are provided at sheet 48/51.

- **Revised Approach to APZs and Habitat Tree Retention**

Asset Protection Zones have been revised so that they are measured from the external wall of the habitable buildings' outwards rather than from the site boundaries inwards. This results in the retention of approximately an additional 6,700m² of native vegetation across the site that does not require thinning or management to APZ Standards. Refer to the Site Plan (Sheet 003/51) located within the Architectural Plans.

In addition, a Tree Retention Plan (& sheet 52/52) has been added to the plan set that identifies and locates Hollow Bearing Trees (HBTs) within the site. In conjunction with the revised APZs, this provides more clarity as to how many HBTs can be retained as part of the proposed development. Overall, the revised plans show that (as a minimum) eleven of the twenty-six HBTs on the site can be retained, equating to 25 hollows (approximately 47% of total tree hollows).

- **Revised Serviced Apartments (Hostel Building)**

The footprint of the Serviced Apartment (Hostel Building) has been amended to enable the revised APZs (mentioned above) and to limit solar access impacts from the 'wings' of the building. This results in a loss of twenty-two units from the proposed Hostel Building. (Sheet 3 and 29-40)

- **Amendments to Staging**

The proposed staging of the development has been amended to provide a temporary waste storage area located along Road 1 at the future intersection of Road 5. This waste storage area will be utilised until the commencement of Stage 5, at which point the it will be relocated to its proposed final location in the north east of the site. (Sheet 004/51).

- **Larger Waste Storage Area**

The size of the waste storage area located in the north east of the site has been increased to accommodate an additional four (4) 1,100L bins.

In addition to the revised Architectural Plans, we have prepared and submitted a **Context Plan** (Ref: 190528(1)-PSK-003-B) as Appendix B, showing how this site and the revised development sits in the broader landscape relative to:

- the recently zoned and approved subdivision adjacent to the west, at 137 Johns Road (**Noting** that this site was previously located wholly within the Wadalba Wildlife Corridor and green corridors of the North Wyong Shire Structure Plan (NWSSP);
- Other nearby zone and developed residential development;
- The Precinct boundaries of 2B, 3B and 3A from the NWSSP. This site has been identified as part of the anticipated 725 lot yield from the Structure Plan;
- Nearby developed age care facilities and approved (and under construction) retirement villages by others.

It is our view that the proposed development, as submitted;

- Has a reduced footprint on the landscape than may have otherwise have been envisaged within Precinct 3B of the NWSSP;
- Has a reduced footprint compared with the adjacent residential development to the west;
- Sits lower within the horizontal landscape than the nearby "Eagles Nest" Estate, located approximately 320 m to the west;
- Overall;
 - provided for greater opportunity for landscaping and tree retention, managed in perpetuity by a single entity, than might otherwise have occurred in conventional residential subdivision and development;
 - Provides diversity in housing stock, particularly for the aging demographic, and in a more compact form, with reduced demands on local community infrastructure since this is provided and funded internally by the development.

In respect to potential impacts on the endangered *swift parrot* and other species, we are currently reviewing the BDAR review, prepared by Council's expert, Ross Crates (ANU), provided by Council on the 10th July 2020. We are also in dialogue with the BAM Support Team on this matter.

We have been delayed in providing a full response on this matter since the 10th July because of school holidays, but will endeavour to have a more comprehensive response shortly after our scheduled meeting on 22nd July.

We are also advanced in responses to other concerns raised by Council in respect to easements for Bushfire Asset Protection works & sewer provision, service agreements, access & transport matters, storm water & flooding, but again, will endeavour to have a more comprehensive response shortly after our scheduled meeting on 22nd July.

Is our strong view that both Council and the Panel would benefit from a further briefing session, which includes representation by the Applicant. Throughout this process, and moving forward, we have been and will continue to be committed to working with all

stakeholders, including Council, in respect to opportunities and outcomes acceptable to all parties.

We respectfully request that you will convey this request (to the Secretariat of the Panel for a briefing session, including the Applicant. This can be further discussed at our scheduled meeting on 22nd July.

Should Council be supportive of the above described changes, and resolve to not prematurely submit the application to the Regional Planning Panel for determination, then amended documentation (including Civil Engineering documentation, Bushfire Report, BDAR and Waste Management Plan) will be submitted.

Should you wish to discuss the above matter further, please do not hesitate to contact me on 43054300 or email chriss@adwjohnson.com.au.

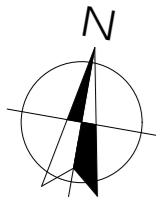
Yours faithfully,

A handwritten signature in blue ink, appearing to read 'C. N. Smith'.

Chris Smith
Senior Town Planner
ADW JOHNSON

Appendix A

REVISED ARCHITECTURAL PLANS



JOHNS ROAD VILLAGE

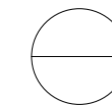
135 JOHNS ROAD WADALBA



DRAWING SCHEDULE

ISSUE A - 09 / 07 / 20

DWG No.	DWG	ISSUE	SHEET
001	TITLE SHEET	A	A3
002	STAGING PLAN	A	A3
003	FULL SITE PLAN	A	A3
004	DETAIL SITE PLAN LEGEND	A	A3
005	DETAIL SITE PLAN 1	A	A3
006	DETAIL SITE PLAN 2	A	A3
007	DETAIL SITE PLAN 3	A	A3
008	DETAIL SITE PLAN 4	A	A3
009	DETAIL SITE PLAN 5	A	A3
010	DETAIL SITE PLAN 6	A	A3
011	DETAIL SITE PLAN 7	A	A3
012	COMM CENTRE PLAN 1	A	A3
013	AMENITIES BLOCK DETAILS	A	A3
014	COM CENTRE ELEV 1	A	A3
015	COM CENTRE ELEV 2	A	A3
016	COM CENTRE SECTION	A	A3
017	KITCHEN DETAILS	DA	A3
018	ACCESSIBLTY DETAILS	DA	A3
019	WASTE AREA	A	A3
020	9AM SHADOWS	A	A3
021	12PM SHADOWS	A	A3
022	3PM SHADOWS	A	A3
023	UP/DOWN PLANS	A	A3
024	UP/DOWN ELEV TYPE 1	A	A3
025	UP/DOWN ELEV TYPE 2	A	A3
026	MULTI. RES BASEMENT PLAN	DA	A3
027	MULTI. RES LEVEL 1 PLAN	DA	A3
028	MULTI. RES LEVEL 2 PLAN	DA	A3
029	APARTMENTS LEVEL 1 PLAN	A	A3
030	APARTMENTS PART LEVEL 1 PLAN 1	A	A3
031	APARTMENTS PART LEVEL 1 PLAN 2	A	A3
032	APARTMENTS PART LEVEL 1 PLAN 3	A	A3
033	APARTMENTS PART LEVEL 1 PLAN 4	A	A3
034	APARTMENTS LEVEL 2 PLAN	A	A3
035	APARTMENTS PART LEVEL 2 PLAN 1	A	A3
036	APARTMENTS PART LEVEL 2 PLAN 2	A	A3
037	APARTMENTS PART LEVEL 2 PLAN 3	A	A3
038	APARTMENTS PART LEVEL 2 PLAN 4	A	A3
039	TYP. APARTMENT PLAN	A	A3
040	APARTMENTS COMPLEX ELEV & SECTION	A	A3
041	MENS SHED PLAN	DA	A3
042	MENS SHED ELEVATIONS	DA	A3
043	MENS SHED ELEVATION & SECTION	DA	A3
044	DUAL VILLA PLAN	A	A3
045	DUAL VILLA ELEVATIONS	A	A3
046	DUAL VILLA ELEVATION & SECTION	A	A3
047	STREETSCAPES 1	A	A3
048	STREETSCAPES 2	A	A3
049	STREETSCAPES 3	A	A3
050	STREETSCAPES 4	A	A3
051	STREETSCAPES 5	A	A3











LOCATION PLAN

NOT TO SCALE

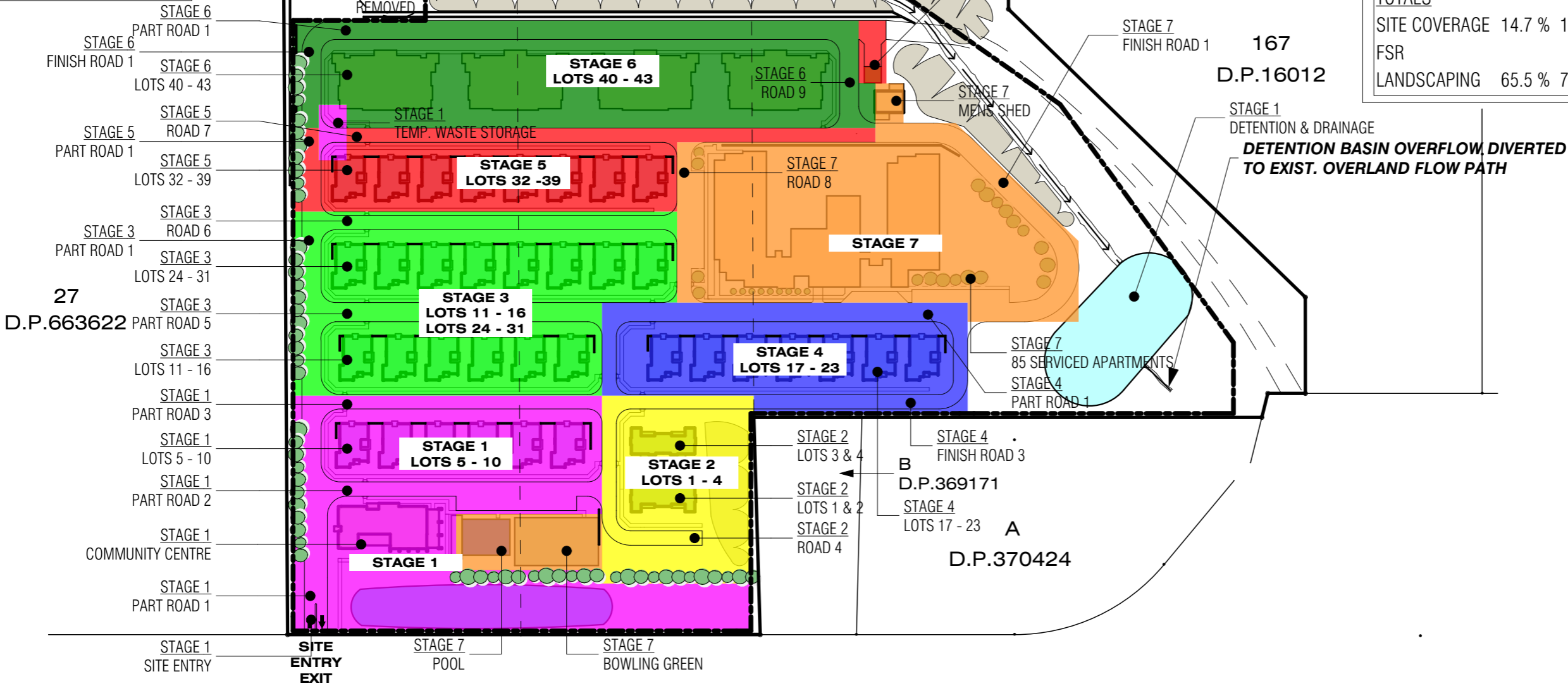
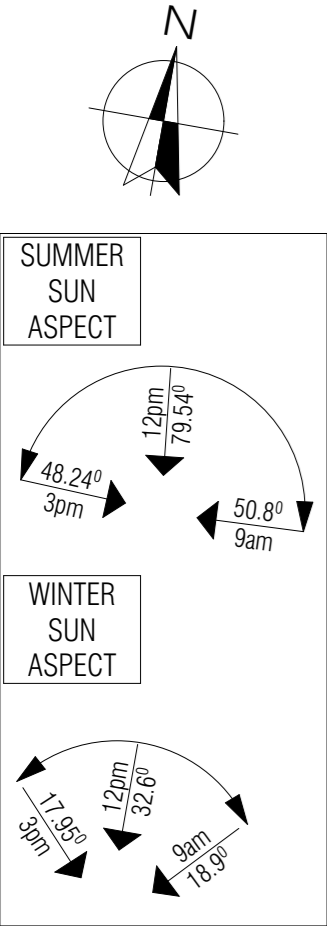
ISSUE	DATE	AMENDMENT
BLACKDRAFT architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355		
PROJECT	JOHNS ROAD RETIREMENT VILLAGE	
LOCATION	135 JOHNS ROAD WADALBA	
CLIENT	TOCAE GROUP	
DRAWING	TITLE SHEET	
SCALE	AS SHOWN	DRAWN MLB
DATE	09 / 07 / 20	ISSUE A
DWG No.	001	
SHEET	001 / 51	TOC 1901

STAGING LEGEND

 STAGE 1 ALL ROAD EARTHWORKS ALL SITE EARTHWORKS INCL. BENCHING, BATTERING, RETAINING & ALL SERVICES DETENTION BASINS & DIVERSION CHANNELS	 STAGE 1 SITE ENTRY PART ROADS 1/2/3 COMMUNITY CENTRE WASTE STORAGE AREA MAINTANANCE SHED UP/DOWN CONSTRUCTION LOTS 7-12	 STAGE 2 ROADS 4 FINISH ROAD 2 DUAL VILLA CONSTRUCTION LOTS 1 - 4	 STAGE 3 ROAD 6 PART ROADS 1 UP/DOWN CONSTRUCTION LOTS 13-18 & 26-33	 STAGE 4 FINISH ROADS 3 & 4 UP/DOWN CONSTRUCTION LOTS 19-25
 STAGE 5 ROAD 7 PART ROAD 1 UP/DOWN CONSTRUCTION LOTS 34-41	 STAGE 6 ROAD 8 PART ROAD 1 8 UNIT CONSTRUCTION LOTS 42-45	 STAGE 7 FINISH ROAD 1 MENS SHED SERVICED UNITS CONSTRUCTION		

SITE CALCULATIONS

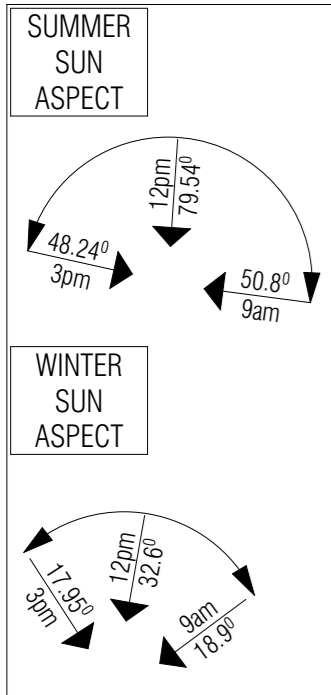
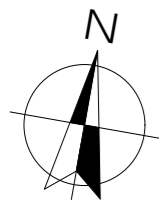
SITE AREA	107000m ²	10.7 ha	AMENITIES	
DUAL VILLAS			COMMUNITY CENTRE	
SITE COVERAGE	540 m ²		SITE COVERAGE	669 m ²
FSR	0.005 : 1		FSR	0.004 : 1
TWO STOREY 'UP & DOWN' TOWNHOUSES			WASTE AREA	
SITE COVERAGE	6860 m ²		SITE COVERAGE	28.7 m ²
FSR	0.13 : 1		FSR	0.000 : 1
TWO STOREY 8 UNIT MULTI RES.			MAINTANANCE SHED	
SITE COVERAGE	2785 m ²		SITE COVERAGE	9.0 m ²
FSR	0.05 : 1		FSR	0.000 : 1
SERVICED APARTMENTS			MENS SHED	
SITE COVERAGE	3760 m ²		SITE COVERAGE	108 m ²
FSR	0.08 : 1		FSR	0.001 : 1
TOTALS			BOWLING GREEN	
SITE COVERAGE	14.7 %	15760 m ²	SITE COVERAGE	700 m ²
FSR	0.26 : 1		POOL	
LANDSCAPING	65.5 %	70160 m ²	SITE COVERAGE	300 m ²



DA	26/02/20	09/07/20	ALL STRUCTURES LEVELS LOWERED RETAINING REDUCED ALONG WESTERN BDY LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING DUAL VILLAS ADDED LOTS 1 & 2 AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE MENS SHED RELOCATED ADJ. WASTE AREA APARTMENT BUILDING SIZE REDUCED WASTE AREA ENCLOSURE SIZE INCREASED APZ AMENDED TO BE 60m FROM BUILDING ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT	

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PROJECT	JOHNS ROAD RETIREMENT VILLAGE		
LOCATION	135 JOHNS ROAD WADALBA		
CLIENT	TOCAE GROUP		
DRAWING	STAGING PLAN		
SCALE	AS SHOWN	DRAWN	MLB
DATE	09 / 07 / 20	ISSUE	A
DWG No.	002		
SHEET	002 / 51	JOB No.	TOC 1901



LEGEND

- APZ - ASSEST PROTECTION ZONE
- SERVICED APARTMENTS
- TWO STOREY 'UP & DOWN' TOWNHOUSES
- DUAL VILLA
- TWO STOREY 8 UNIT MULTI RES. WITH BASEMENT CARPARK



DEVELOPMENT CALCULATIONS

TWO STOREY 'UP & DOWN' TOWNHOUSES	
STRUCTURES	35
UNITS	70
DUAL VILLAS	
STRUCTURES	2
UNITS	4
TWO STOREY 8 UNIT MULTI RES.	
STRUCTURES	4
UNITS	32
SERVICED APARTMENTS	
STRUCTURES	1
UNITS	63
TOTALS	
STRUCTURES	42
UNITS	169



Certificate no.: 0004629540
Assessor Name: Gavin Chambers
Accreditation no.: VIC/BDV/13/1491
Certificate date: 27 February 2020
Dwelling Address: 135 Johns Road Wadalba, NSW 2259



09/07/20

ALL STRUCTURES LEVELS LOWERED
RETAINING REDUCED ALONG WESTERN BDY
LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING
DUAL VILLAS ADDED LOTS 1 & 2
AMENITIES BLOCK ADDED TO NEW POOL AREA
POOL LEVEL REMOVED FROM COMM. CENTRE
MENS SHED RELOCATED ADJ. WASTE AREA
APARTMENT BUILDING SIZE REDUCED
WASTE AREA ENCLOSURE SIZE INCREASED
APZ AMENDED TO BE 60m FROM BUILDING
ISSUED FOR COUNCIL SUBMISSION

DA	26/02/20
ISSUE	DATE
AMENDMENT	

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architectural design
blackdraft333@gmail.com
mob 0449 758 866 abn 53 392 045 355

PROJECT **JOHNS ROAD RETIREMENT VILLAGE**

LOCATION **135 JOHNS ROAD WADALBA**

CLIENT **TOCAE GROUP**

DRAWING **FULL SITE PLAN**

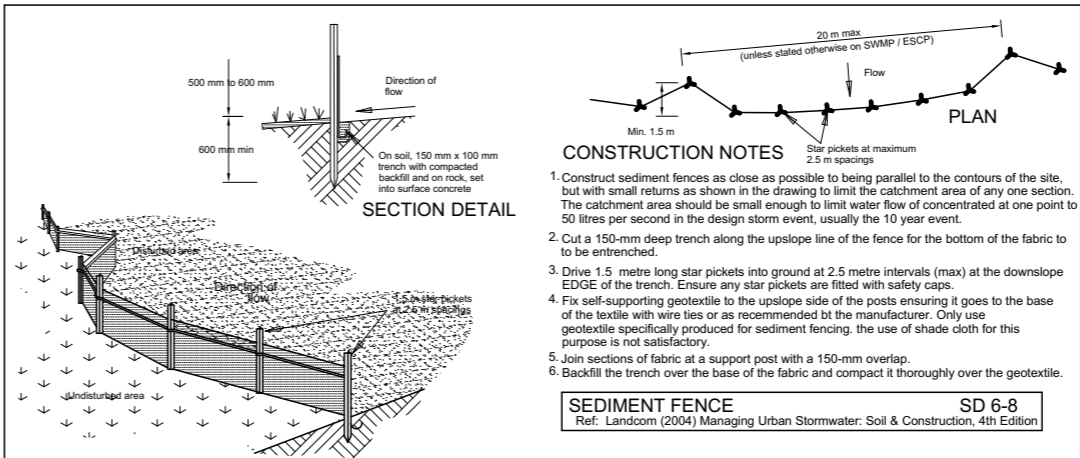
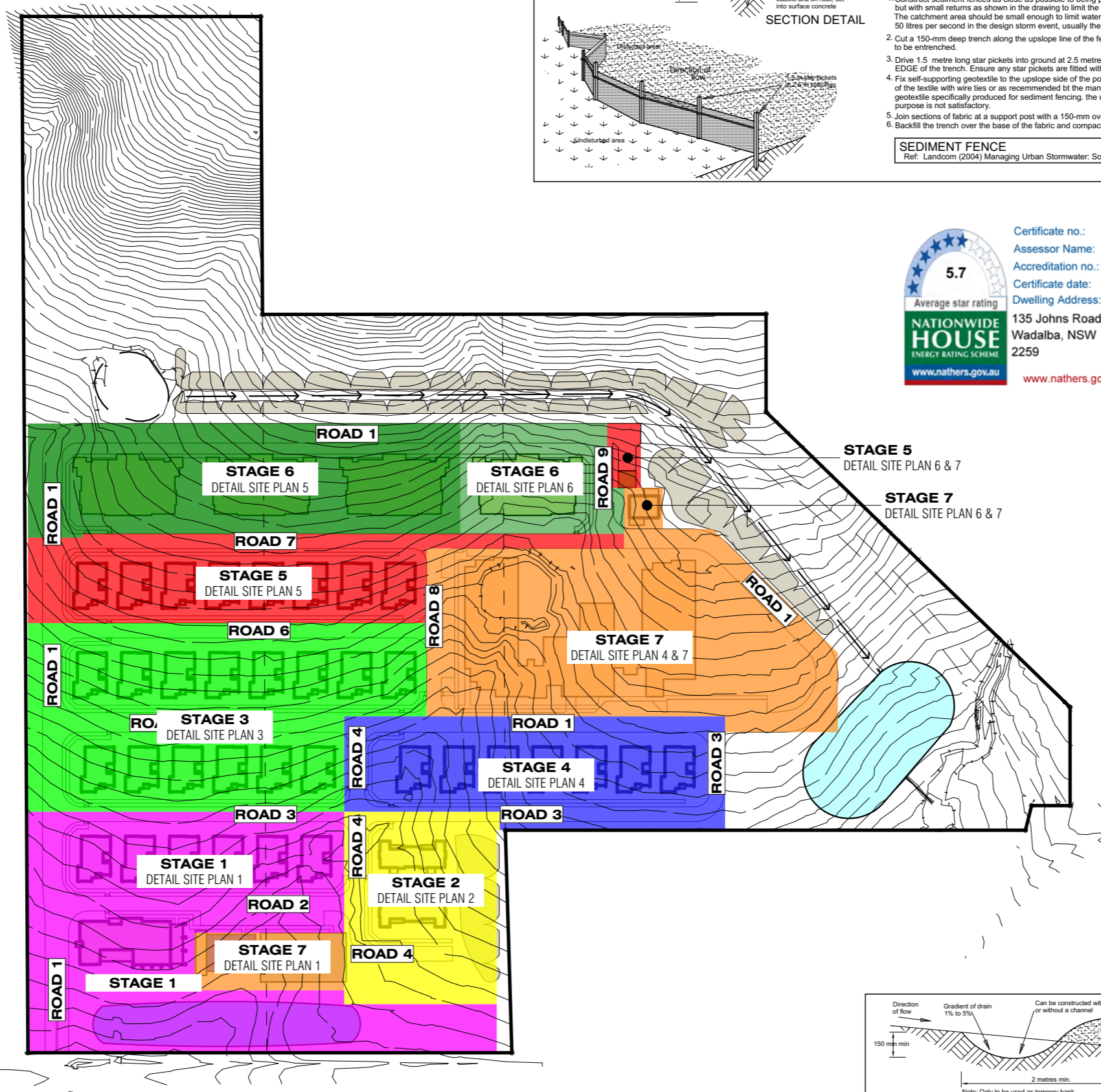
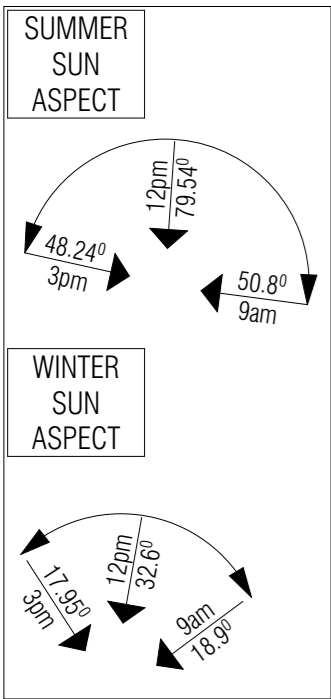
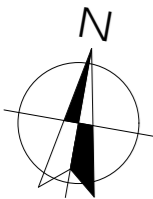
SCALE **AS SHOWN** DRAWN **MLB**

DATE **09 / 07 / 20** ISSUE **A**

DWG No. **003**

SHEET **003 / 51** JOB No. **TOC 1901**

FULL SITE PLAN
SCALE 1 : 2000



SEDIMENTATION NOTES

SITE WORKS ARE NOT TO START UNTIL THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND FUNCTIONAL.

ENTRY AND DEPARTURE OF VEHICLES IS TO BE CONFINED TO THE NOMINATED EXISTING VEHICLE ACCESS OR STABILISED SITE ACCESS.

TOPSOIL IS TO BE STRIPPED FROM BUILDING SITE AND STOCKPILED FOR LATER USE IN LANDSCAPING THE SITE.

TOPSOIL IS TO BE RESPREAD AND ALL DISTURBED AREAS REHABILITATED (TURFED) WITHIN 20 WORKING DAYS OF COMPLETION OF WORKS.

THE FOOTPATH, OTHER THAN STABILISED SITE ACCESS, IS NOT TO BE DISTURBED, INCLUDING STOCKPILING OF MATERIALS.

WHERE ESSENTIAL WORKS (eg DRAINAGE) ARE REQUIRED, THE FOOTPATH IS TO BE REHABILITATED (TURFED) AS SOON AS POSSIBLE.

WASTE ENCLOSURE MINIMUM 1800 x 1800 x 1200 CONSTRUCTED USING STAR PICKETS AND 1200mm HIGH WEED CONTROL MAT ARRANGEMENTS ARE TO BE MADE FOR REGULAR COLLECTION AND DISPOSAL OR RECYCLING OF CONSTRUCTION WASTE.

ROOF DOWNPIPES TO BE CONNECTED TO STREET KERB OR OTHER STORMWATER DISPOSAL SYSTEM ON COMPLETION OF ROOF AND GUTTERING.

ALL SEDIMENTATION CONTROLS ARE TO BE CHECKED DAILY (AT A MINIMUM WEEKLY) AND AFTER ALL RAIN EVENTS.

ALL STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY TO ENSURE THEY ARE MAINTAINED IN FULL FUNCTIONAL CONDITION.



NOTE: THE LOCATION OF SERVICES ARE TO BE VERIFIED BY OBTAINING CURRENT INFORMATION FROM "DIAL BEFORE YOU DIG" (PHONE 1100) PRIOR TO DESIGN/CONSTRUCTION WORKS. ALTERNATIVELY, THE EXACT LOCATION OF SERVICES SHOULD BE DETERMINED BY FIELD SURVEY IN CONSULTATION WITH THE SERVICES AUTHORITIES WHERE DEEMED NECESSARY.

A 09/07/20

ALL STRUCTURES LEVELS LOWERED

RETAINING REDUCED ALONG WESTERN BDY

LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING

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JOHNS ROAD RETIREMENT VILLAGE

LOCATION 135 JOHNS ROAD WADALBA

CLIENT TOCAE GROUP

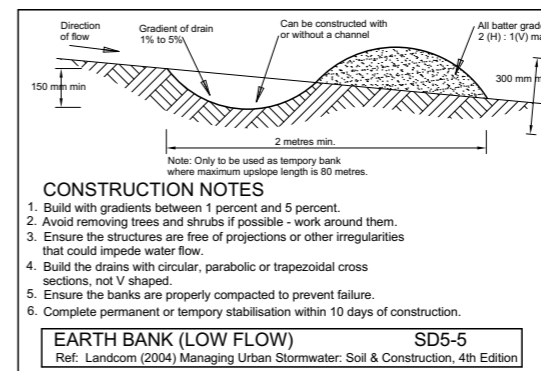
PART SITE LEGEND

SCALE **AS SHOWN** DRAWN **MLB**

DATE **09 / 07 / 20** ISSUE **A**

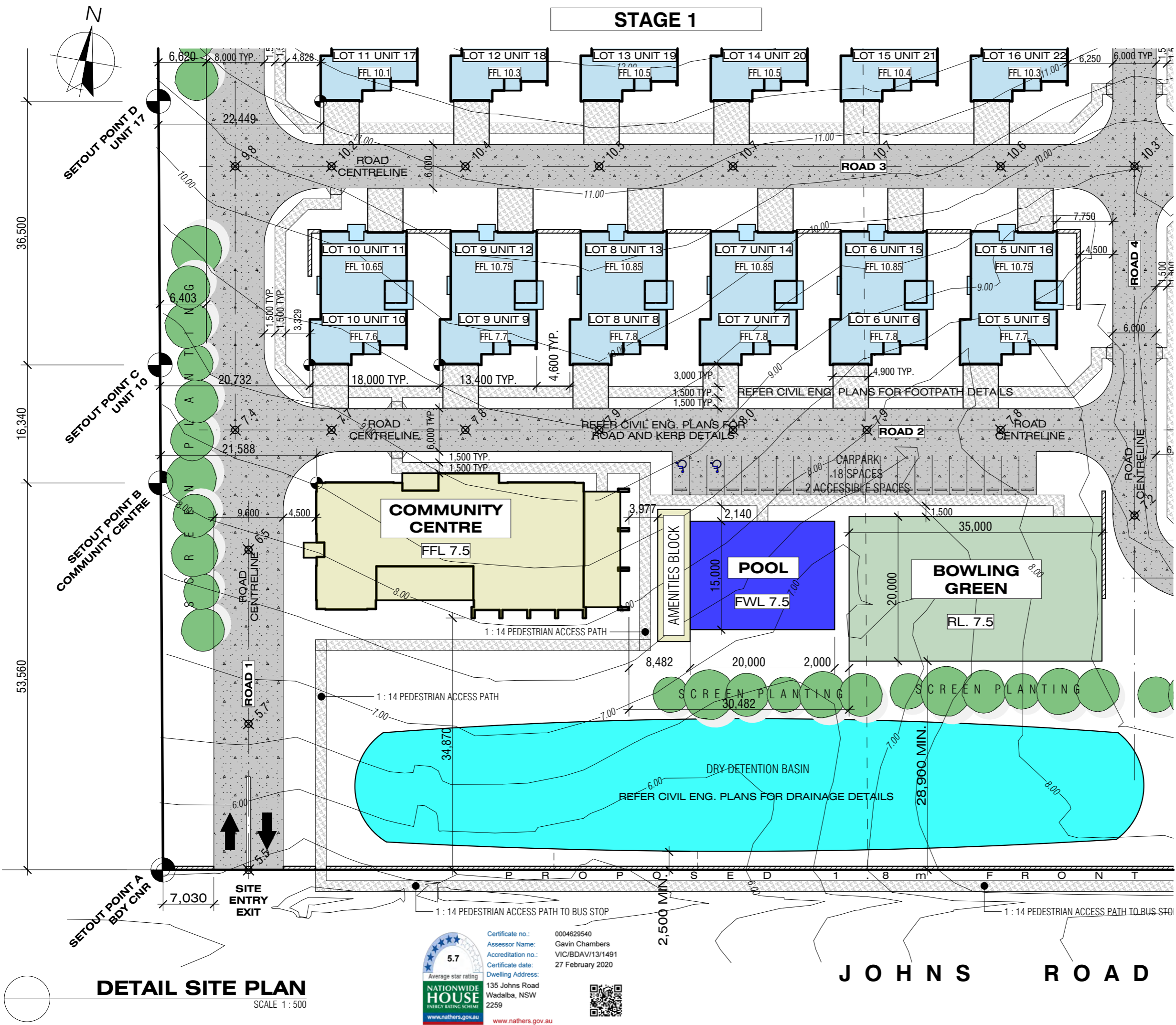
DWG No. **004**

SHEET **004 / 51** JOB No. **TOC 1901**



PART SITE LEGEND

SCALE 1 : 2000



DETAIL SITE PLAN
SCALE 1 : 500



Certificate no.: 0004629540
Assessor Name: Gavin Chambers
Accreditation no.: VIC/BDV/13/1491
Certificate date: 27 February 2020
Dwelling Address: 135 Johns Road Wadalba, NSW 2259
www.nathers.gov.au



SEDIMENTATION NOTES

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www.1100.com.au

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PROJECT	JOHNS ROAD RETIREMENT VILLAGE	
LOCATION	135 JOHNS ROAD WADALBA	
CLIENT	TOCAE GROUP	
DRAWING	DETAIL SITE PLAN 1	
SCALE	AS SHOWN	DRAWN MLB
DATE	09 / 07 / 20	ISSUE A
DWG No.	005	
SHEET	005 / 51	JOB No. TOC 1901

- ### CONSTRUCTION NOTES
1. Build with gradients between 1 percent and 5 percent.
 2. Avoid removing trees and shrubs if possible - work around them.
 3. Ensure the structures are free of projections or other irregularities that could impede water flow.
 4. Build the drains with circular, parabolic or trapezoidal cross sections, not V shaped.
 5. Ensure the banks are properly compacted to prevent failure.
 6. Complete permanent or temporary stabilisation within 10 days of construction.

EARTH BANK (LOW FLOW) SD5-5
 Ref: Landcom (2004) Managing Urban Stormwater: Soil & Construction, 4th Edition

CONSTRUCTION NOTES

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow of concentrated at one point to 50 litres per second in the design storm event, usually the 10 year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star spikes into ground at 2.5 metre intervals (max) at the downslope EDGE of the trench. Ensure any star spikes are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the textile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing, the use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE **SD 6-8**
 Ref: Landcom (2004) Managing Urban Stormwater: Soil & Construction, 4th Edition

SEDIMENTATION NOTES

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TOPSOIL IS TO BE STRIPPED FROM BUILDING SITE AND STOCKPILED FOR LATER USE IN LANDSCAPING THE SITE.

TOPSOIL IS TO BE RESPEAD AND ALL DISTURBED AREAS REHABILITATED (TURFED) WITHIN 20 WORKING DAYS OF COMPLETION OF WORKS.

THE FOOTPATH, OTHER THAN STABILISED SITE ACCESS, IS NOT TO BE DISTURBED, INCLUDING STOCKPILING OF MATERIALS.

WHERE ESSENTIAL WORKS (eg DRAINAGE) ARE REQUIRED, THE FOOTPATH IS TO BE REHABILITATED (TURFED) AS SOON AS POSSIBLE.

WASTE ENCLOSURE MINIMUM 1800 x 1800 x 1200 CONSTRUCTED USING STAR PICKETS AND 1200mm HIGH WEED CONTROL MAT ARRANGEMENTS ARE TO BE MADE FOR REGULAR COLLECTION AND DISPOSAL OR RECYCLING OF CONSTRUCTION WASTE.

ROOF DOWNPIPS TO BE CONNECTED TO STREET KERB OR OTHER STORMWATER DISPOSAL SYSTEM ON COMPLETION OF ROOF AND GUTTERING.

ALL SEDIMENTATION CONTROLS ARE TO BE CHECKED DAILY (AT A MINIMUM WEEKLY) AND AFTER ALL RAIN EVENTS.

ALL STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY TO ENSURE THEY ARE MAINTAINED IN FULL FUNCTIONAL CONDITION.



NOTE: THE LOCATION OF SERVICES ARE TO BE VERIFIED BY OBTAINING CURRENT INFORMATION FROM "DIAL BEFORE YOU DIG" (PHONE 1100) PRIOR TO DESIGN/CONSTRUCTION WORKS. ALTERNATIVELY, THE EXACT LOCATION OF SERVICES SHOULD BE DETERMINED BY FIELD SURVEY IN CONSULTATION WITH THE SERVICES AUTHORITIES WHERE DEEMED NECESSARY.

A	09/07/20	ALL STRUCTURES LEVELS LOWERED RETAINING REDUCED ALONG WESTERN BDY LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING DUAL VILLAS ADDED LOTS 1 & 2 AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE MENS SHED RELOCATED ADJ. WASTE AREA APARTMENT BUILDING SIZE REDUCED WASTE AREA ENCLOSURE SIZE INCREASED APZ AMENDED TO BE 60m FROM BUILDING ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	

DA	26/02/20	AF2 AMENDED TO BE GUILT FROM BUILDING ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT

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architectural design
blackdraft333@gmail.com
mob 0449 758 866 abn 53 392 045 355

PROJECT **JOHNS ROAD RETIREMENT VILLAGE**

LOCATION 135 JOHNS ROAD
WADALBA

CLIENT **TOCAE GROUP**

DRAWING

DETAIL SITE PLAN 2

SCALE **AS SHOWN** | DRAWN **MLB**

DATE	12 / 06 / 20	ISSUE	A
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DWG No. **006**

SHEET	JOB No.
006 / 51	TOC 1901

The site plan illustrates a residential development with the following features:

- Units:** Seven units are shown, color-coded by type:
 - Blue Units:** LOT 6 UNIT 15 (FFL 10.85), LOT 6 UNIT 6 (FFL 7.8), LOT 5 UNIT 16 (FFL 10.75), and LOT 5 UNIT 5 (FFL 7.7).
 - Green Units:** LOT 4 UNIT 4 (FFL 10.7), LOT 3 UNIT 3 (FFL 10.7), LOT 2 UNIT 2 (FFL 8.5), and LOT 1 UNIT 1 (FFL 8.5).
- Roads:** ROAD 2, ROAD 3, and ROAD 4 are shown with centerlines and various widths (e.g., 10.00, 11.00, 12.00, 13.400 TYP, 4.600 TYP).
- Landscaping:** A large BOWLING GREEN (RL. 7.5) is located on the left. A row of SCREEN PLANTING is shown along the bottom. A LANDSCAPED OPEN SPACE AREA is indicated with a reference to landscape plans.
- Other Features:** A CARPARK with 8 SPACES and POSSIBLE SPACES is located near ROAD 2. A 1:14 PEDESTRIAN ACCESS PATH TO BUS STOP is shown at the bottom. An EXIST. BUS STOP is located near the bottom center.
- Setout Points:** SETOUT POINT K, SETOUT POINT J, and SETOUT POINT H are marked along the right boundary.
- Dimensions:** Various dimensions are provided for setbacks, lot widths, and building footprints (e.g., 24,625, 25,132, 25,514, 25,842, 37,400, 51,380, 28,900 MIN.).

JOHNS ROAD

DETAIL SITE PLAN

SCALE 1 : 500

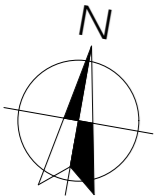


Certificate no.: 0004629540
Assessor Name: Gavin Chambers
Accreditation no.: VIC/BDIV/13/1491
Certificate date: 27 February 2020

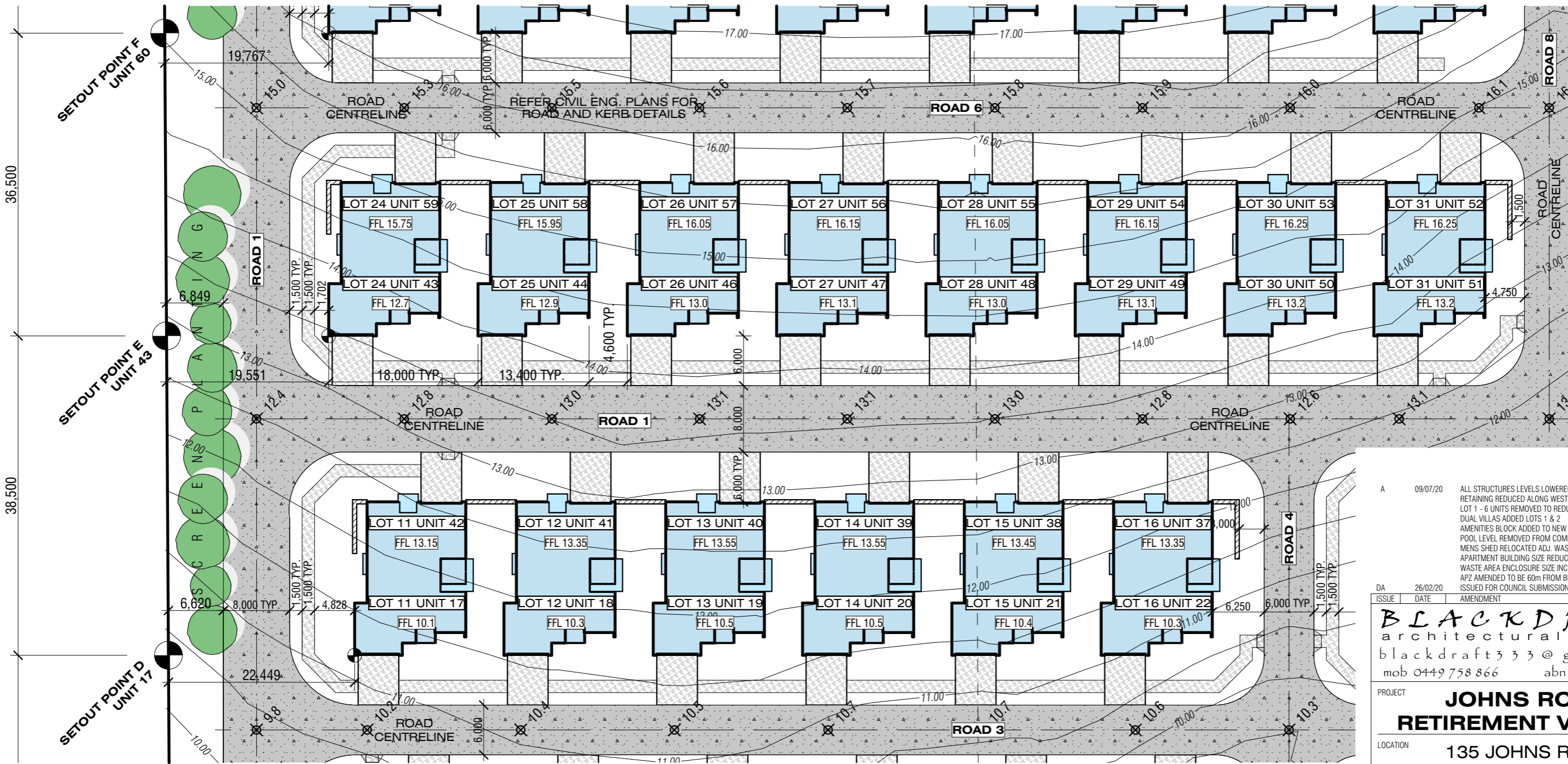
135 Johns Road
Wadalba, NSW
2259

www.nathers.gov.au





STAGE 3



A 09/07/20 ALL STRUCTURES LEVELS LOWERED
RETAINING REDUCED ALONG WESTERN BDY
LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING
DUAL VILLAS ADDED LOTS 1 & 2
AMENITIES BLOCK ADDED TO NEW POOL AREA
POOL LEVEL REMOVED FROM COMM. CENTRE
MENS SHED RELOCATED ADJ. WASTE AREA
APARTMENT BUILDING SIZE REDUCED
WASTE AREA ENCLOSURE SIZE INCREASED
APZ AMENDED TO BE 60m FROM BUILDING
ISSUED FOR COUNCIL SUBMISSION

DA 26/02/20
ISSUE DATE AMENDMENT

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blackdraft333@gmail.com
mob 0449 758 866 abn 53 392 045 355

PROJECT **JOHNS ROAD
RETIREMENT VILLAGE**
LOCATION **135 JOHNS ROAD
WADALBA**

CLIENT **TOCAE GROUP**

DRAWING **DETAIL SITE PLAN 3**

SCALE **AS SHOWN** DRAWN **MLB**

DATE **09 / 07 / 20** ISSUE **A**

DWG No. **007**

SHEET **007 / 51** JOB No. **TOC 1901**

DETAIL SITE PLAN

SCALE 1 : 500

SEDIMENTATION NOTES

SITE WORKS ARE NOT TO START UNTIL THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND FUNCTIONAL.
ENTRY AND DEPARTURE OF VEHICLES IS TO BE CONFINED TO THE NOMINATED EXISTING VEHICLE ACCESS OR STABILISED SITE ACCESS.
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APARTMENT BUILDING SIZE REDUCED
WASTE AREA ENCLOSURE SIZE INCREASED
APZ AMENDED TO BE 60m FROM BUILDING
ISSUED FOR COUNCIL SUBMISSION

DA 26/02/20
ISSUE DATE AMENDMENT

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PROJECT **JOHNS ROAD RETIREMENT VILLAGE**

LOCATION **135 JOHNS ROAD WADALBA**

CLIENT **TOCAE GROUP**

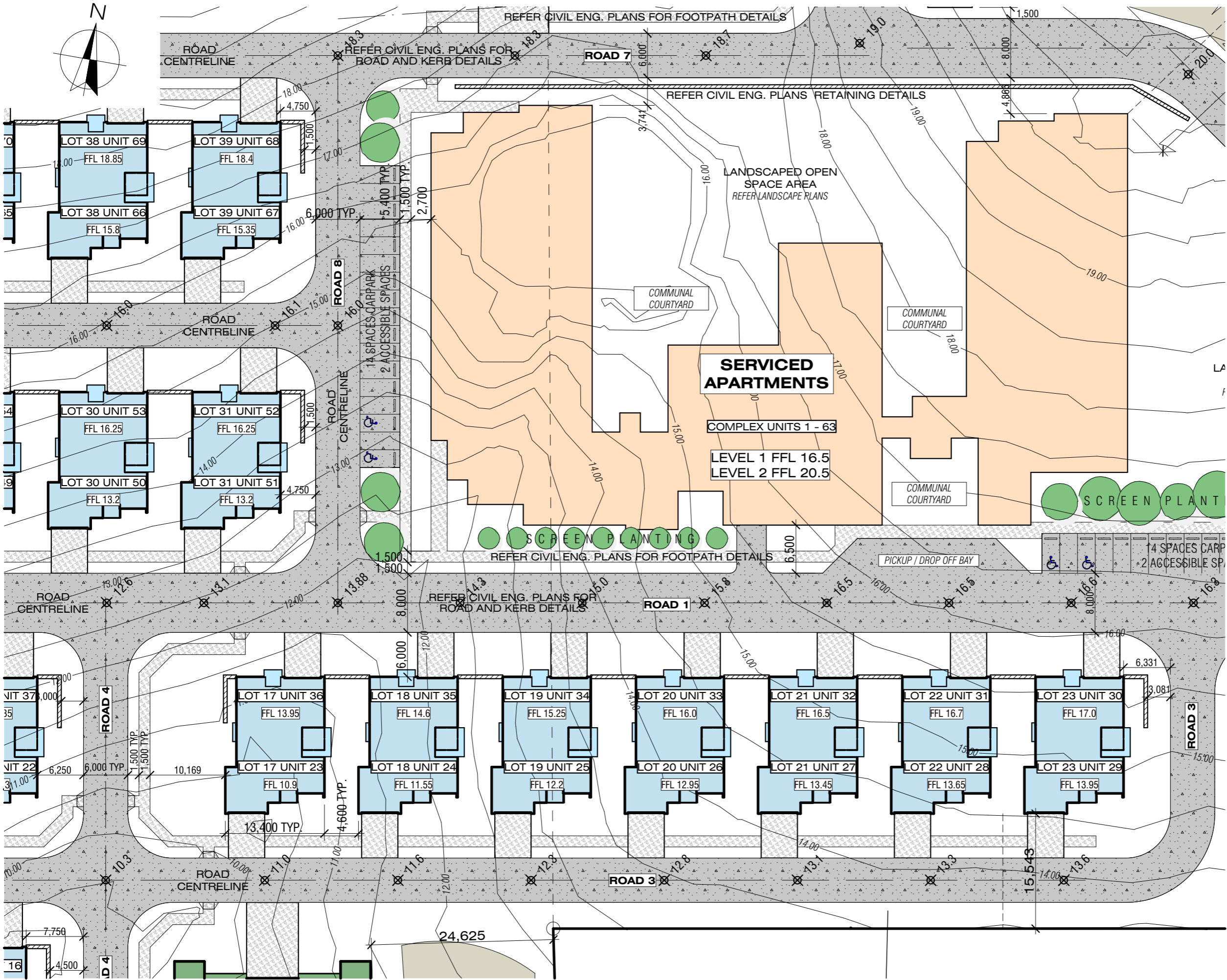
DRAWING **DETAIL SITE PLAN 4**

SCALE **AS SHOWN** DRAWN **MLB**

DATE **09 / 07 / 20** ISSUE **A**

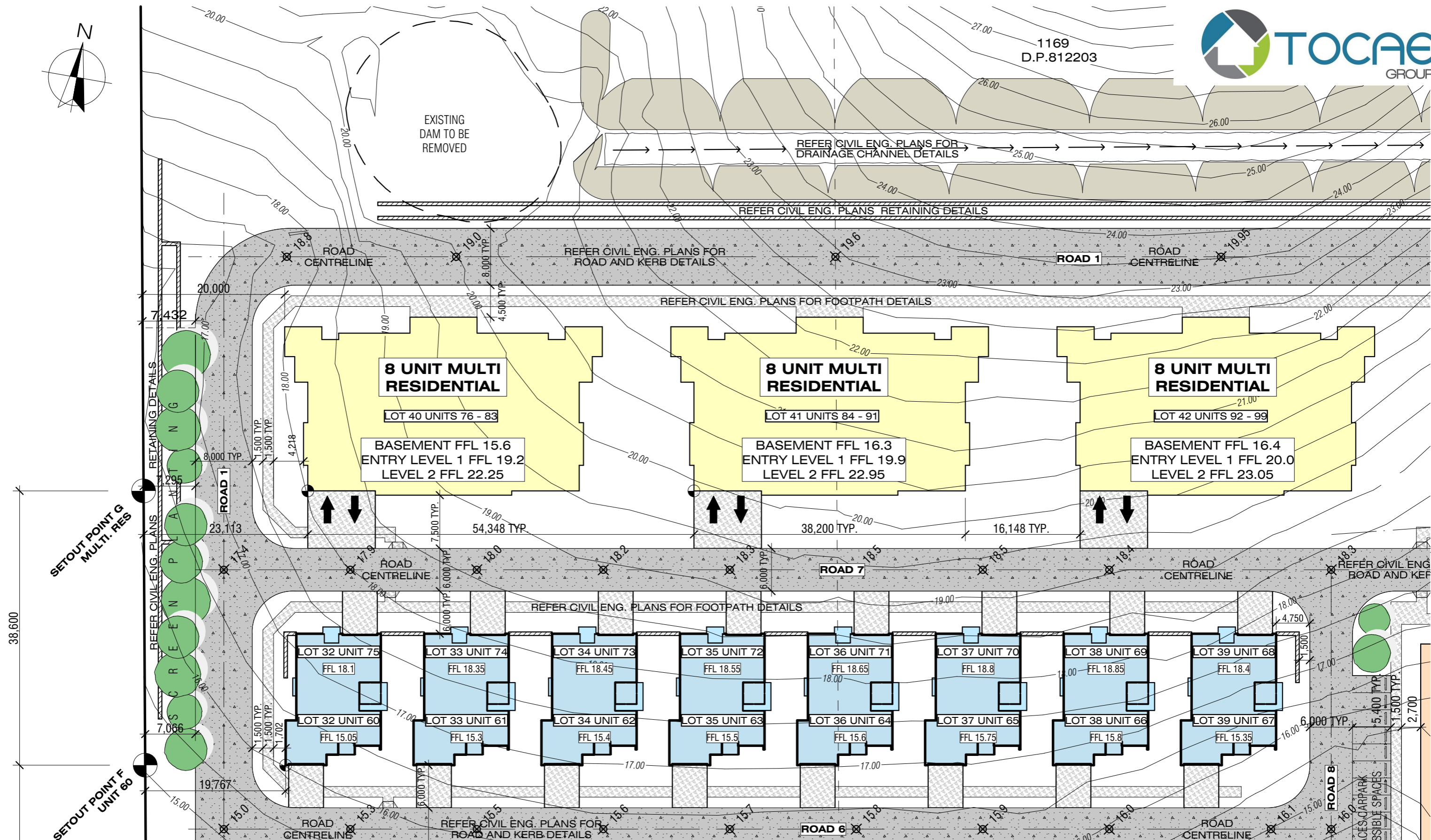
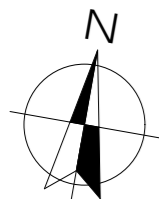
DWG No. **008**

SHEET **008 / 51** JOB No. **TOC 1901**



DETAIL SITE PLAN

SCALE 1 : 500



A 09/07/20 ALL STRUCTURES LEVELS LOWERED
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DETAIL SITE PLAN

SCALE 1:500

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PROJECT **JOHNS ROAD RETIREMENT VILLAGE**
LOCATION **135 JOHNS ROAD
WADALBA**

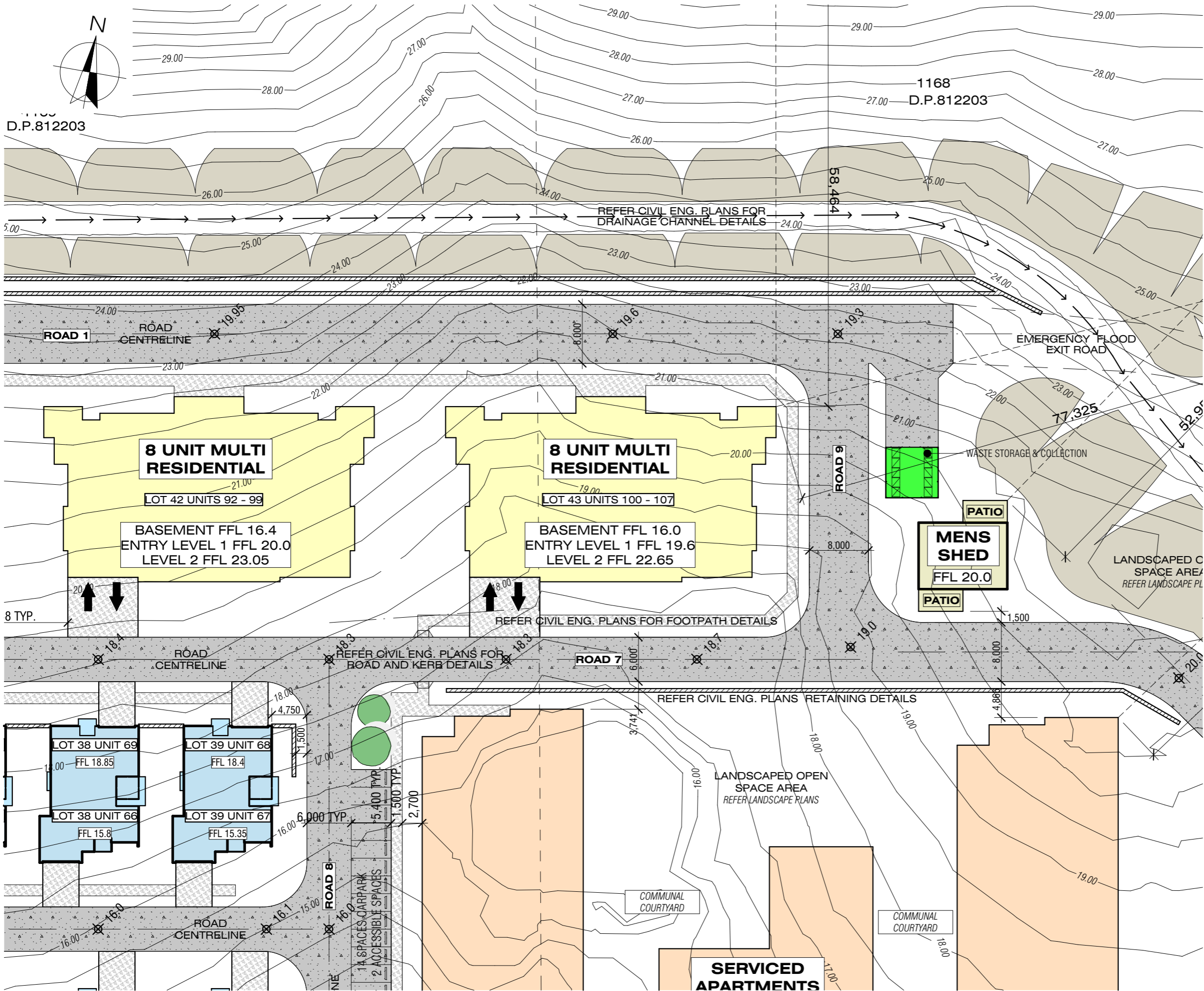
CLIENT **TOCAE GROUP**
DRAWING **DETAIL SITE PLAN 5**

DRAWN **MLB**
SCALE **AS SHOWN**

DATE **09 / 07 / 20**
ISSUE **A**

DWG No. **009**

SHEET **009 / 51**
JOB No. **TOC 1901**



SEDIMENTATION NOTES

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WASTE AREA ENCLOSURE SIZE INCREASED
APZ AMENDED TO BE 60m FROM BUILDING
ISSUED FOR COUNCIL SUBMISSION

DA 26/02/20
ISSUE DATE AMENDMENT

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architectural design
blackdraft333@gmail.com
mob 0449 758 866 abn 53 392 045 355

PROJECT **JOHNS ROAD
RETIREMENT VILLAGE**

LOCATION **135 JOHNS ROAD
WADALBA**

CLIENT **TOCAE GROUP**

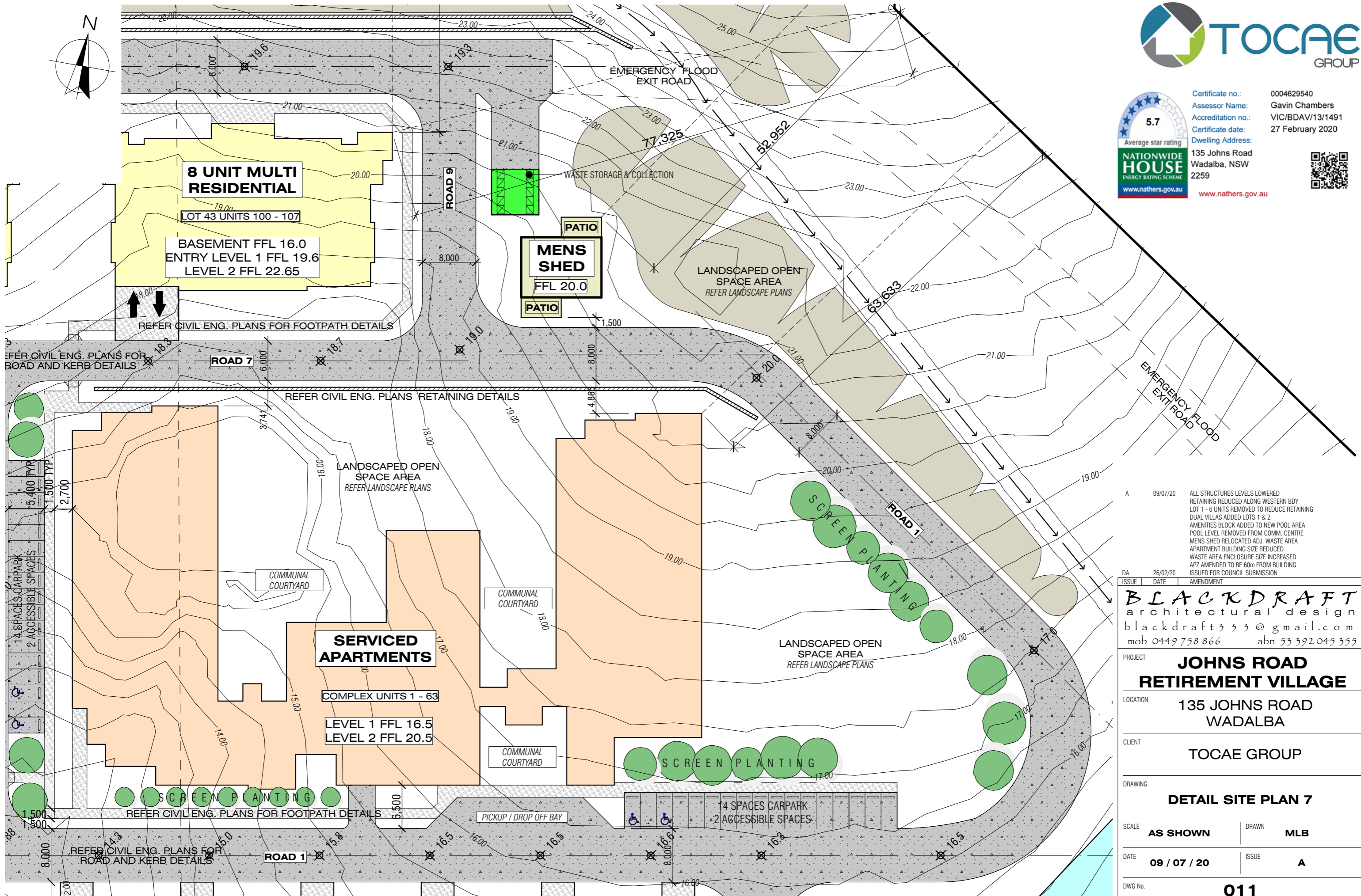
DRAWING **DETAIL SITE PLAN 6**

SCALE **AS SHOWN** DRAWN **MLB**

DATE **09 / 07 / 20** ISSUE **A**

DWG No. **010**

SHEET **010 / 51** JOB No. **TOC 1901**



A 09/07/20 ALL STRUCTURES LEVELS LOWERED
 RETAINING REDUCED ALONG WESTERN BDY
 LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING
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 ISSUED FOR COUNCIL SUBMISSION

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 blackdraft333@gmail.com
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PROJECT **JOHNS ROAD RETIREMENT VILLAGE**

LOCATION **135 JOHNS ROAD WADALBA**

CLIENT **TOCAE GROUP**

DRAWING **DETAIL SITE PLAN 7**

SCALE AS SHOWN	DRAWN MLB
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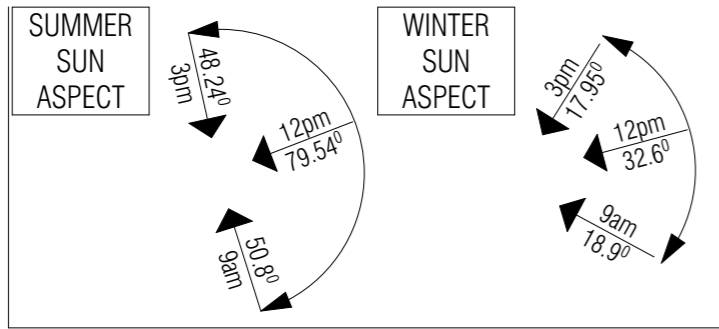
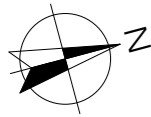
DATE 09 / 07 / 20	ISSUE A
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DWG No. **011**

SHEET 011 / 51	JOB No. TOC 1901
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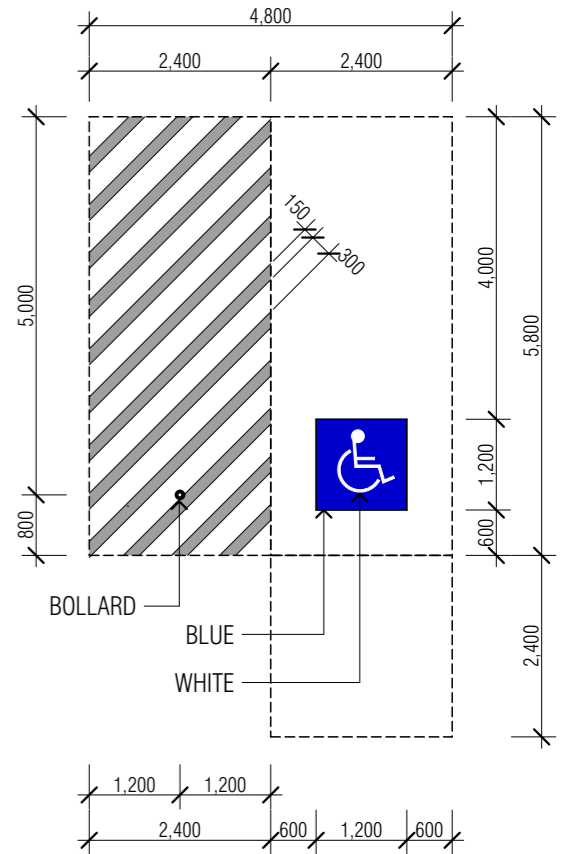
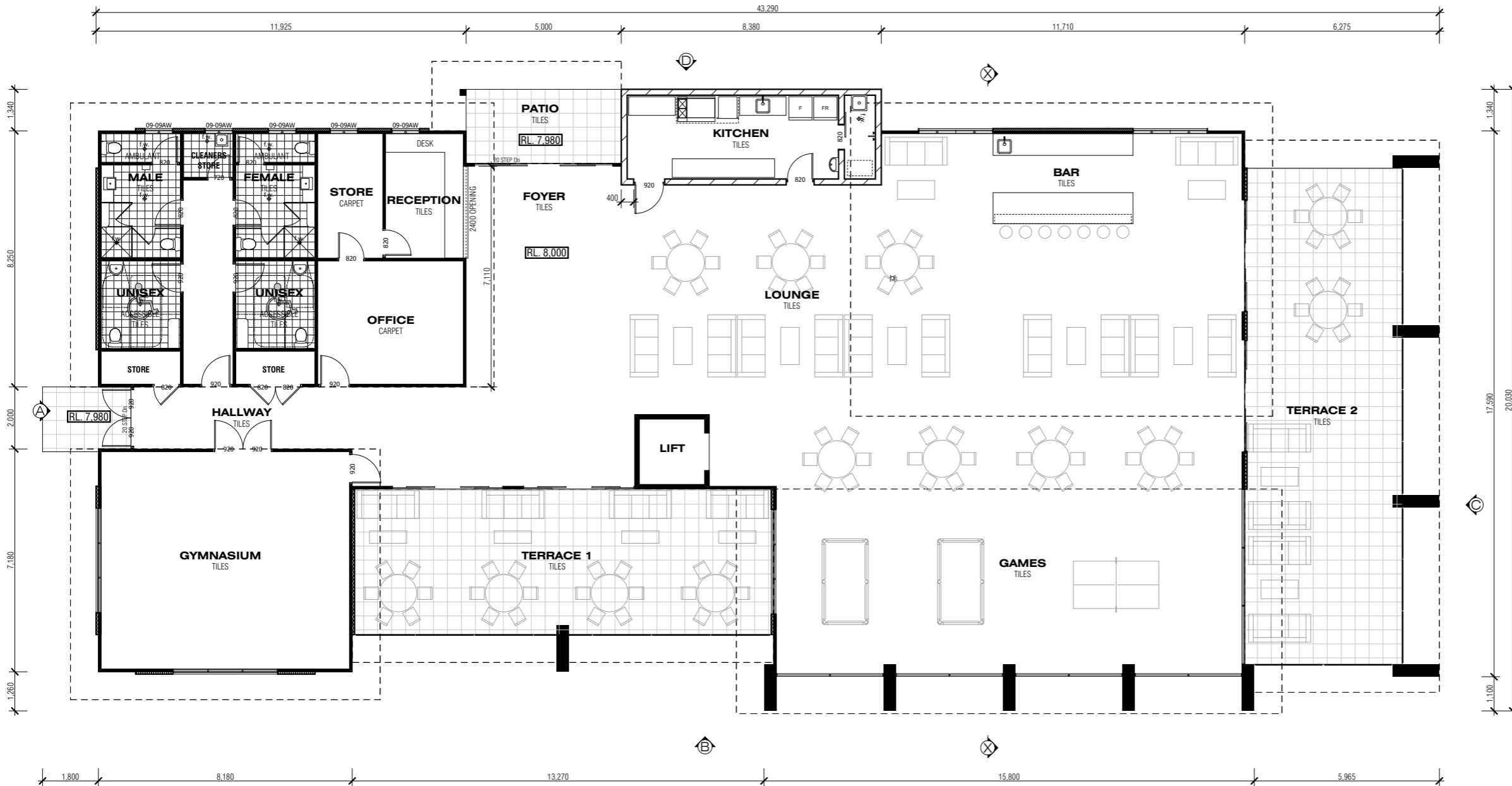
DETAIL SITE PLAN

SCALE 1 : 500



NOTE: THRESHOLD RAMPS TO BE PROVIDED AT ALL EXTERNAL ENTRANCES & TO BE IN ACCORDANCE WITH AS 1428.1 - 2009

NOTE: HARDWIRED SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3786



ACCESSIBLE CARPARK DETAILS

SCALE 1 : 100

A	09/07/20	AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE ALL STRUCTURES LEVELS LOWERED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT

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PROJECT JOHNS ROAD RETIREMENT VILLAGE

LOCATION
135 JOHNS ROAD
WADALBA

CLIENT
TOCAE

DRAWING COMM. CENTRE PLAN

SCALE
AS SHOWN

DATE
09 / 07 / 20

DWG No.
012

SHEET
012 / 51

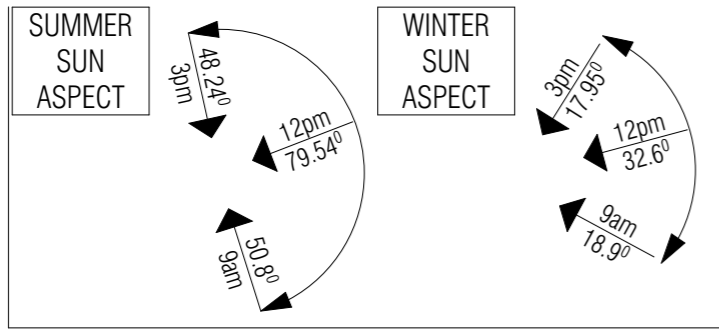
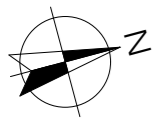
JOB No.
TOC 1901

COMMUNITY CENTRE LOWER LEVEL

SCALE 1 : 100

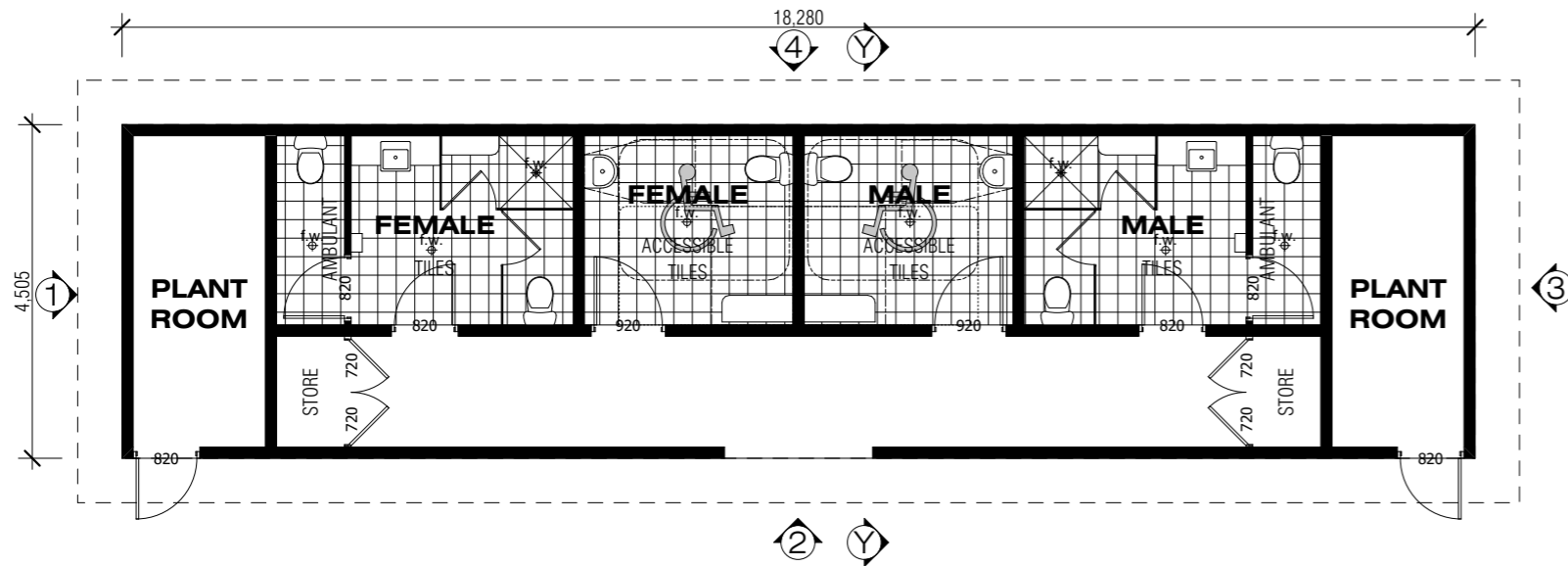
AREA CALCULATIONS

COMMUNITY CENTRE		
NOM FLOOR AREA	=	669 m ²
PATIO	=	12 m ²
TERRACES	=	144 m ²
MENS SHED	=	108 m ²
AMENITIES BLOCK	=	108 m ²

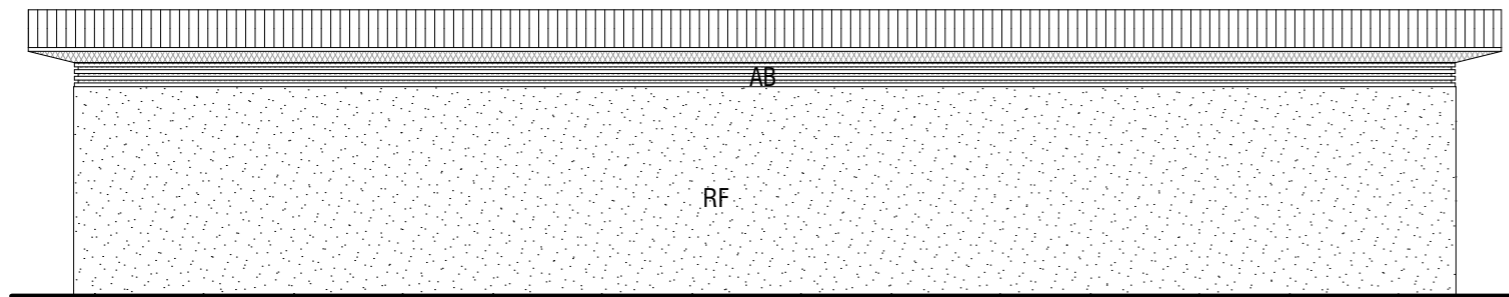
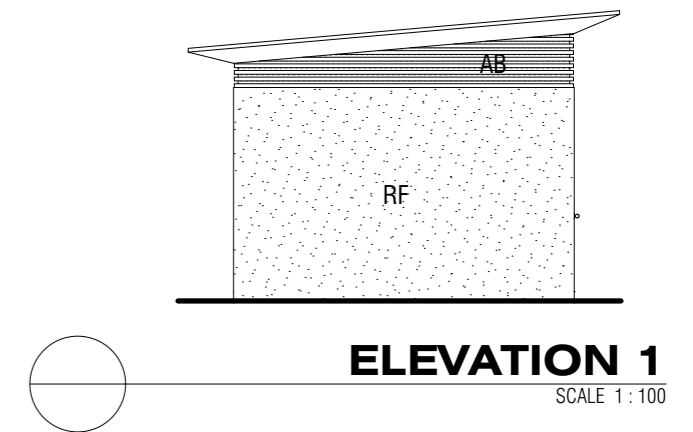
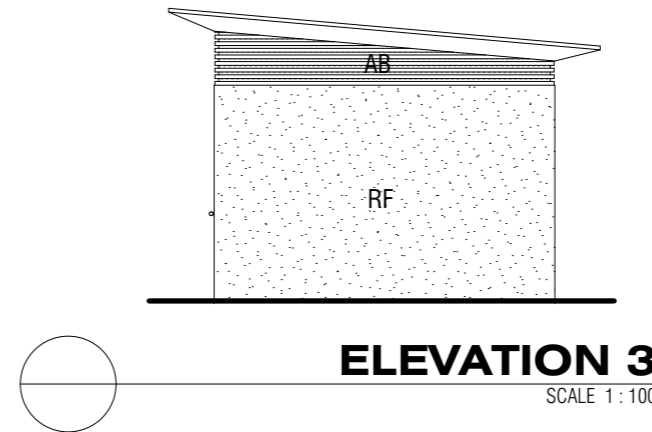


NOTE: THRESHOLD RAMPS TO BE PROVIDED AT ALL EXTERNAL ENTRANCES & TO BE IN ACCORDANCE WITH AS 1428.1 - 2009

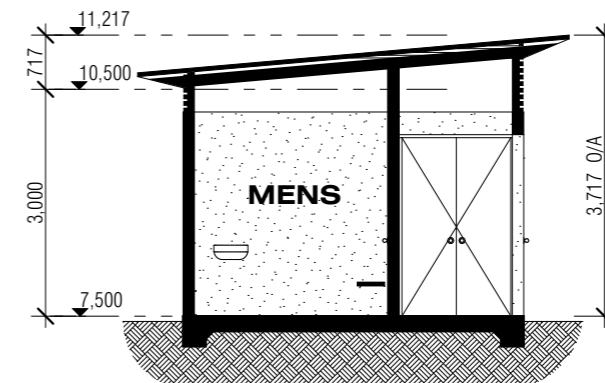
MECHANICAL VENTILATION NOTE: AMENITIES MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE B.C.A



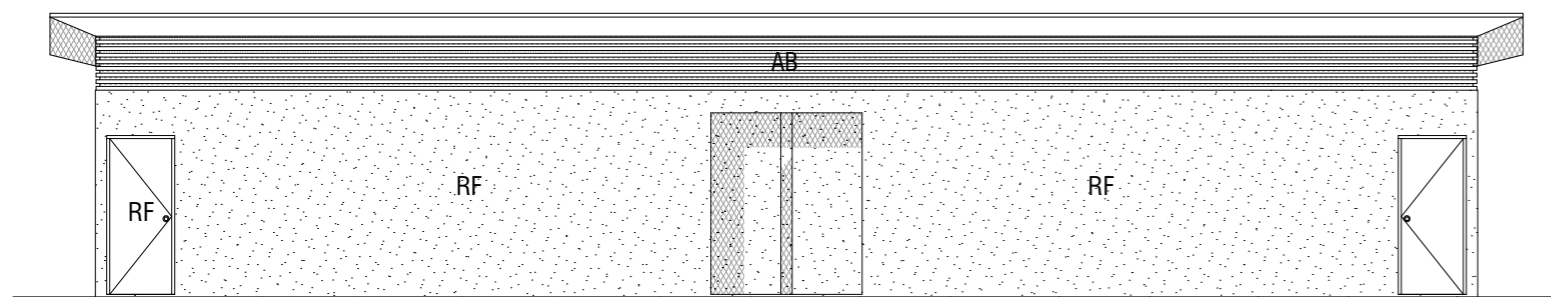
AMENITIES BLOCK PLAN
SCALE 1 : 100



ELEVATION 4
SCALE 1 : 100



SECTION Y - Y
SCALE 1 : 100



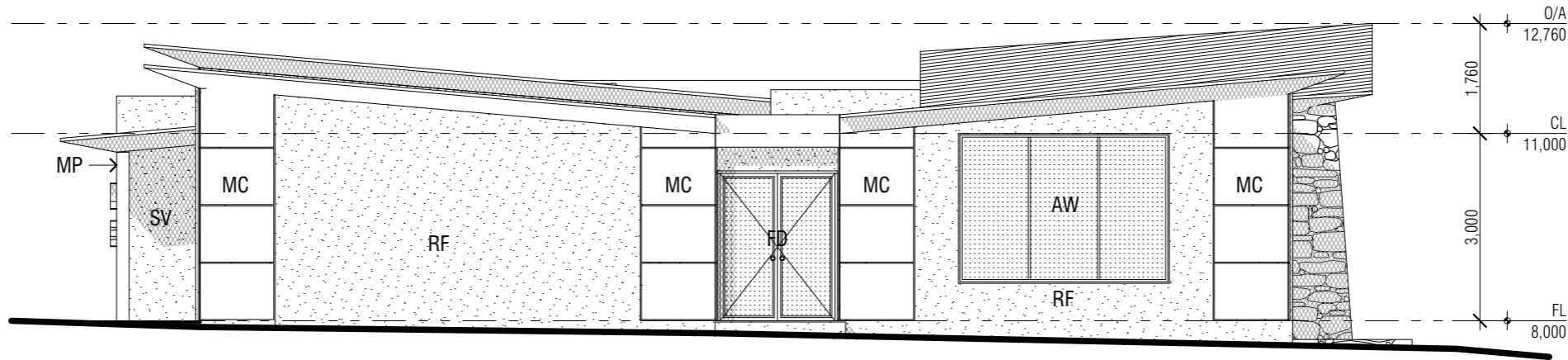
ELEVATION 2
SCALE 1 : 100

NOTE: HARDWIRED SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3786

A	09/07/20	AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE ALL STRUCTURES LEVELS LOWERED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT
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PROJECT JOHNS ROAD RETIREMENT VILLAGE		
LOCATION 135 JOHNS ROAD WADALBA		
CLIENT TOCAE		
DRAWING AMENITIES BLOCK DETAILS		
SCALE	AS SHOWN	DRAWN MLB
DATE	09 / 07 / 20	ISSUE A
DWG No.	013	
SHEET	013 / 51	JOB No. TOC 1901

EXTERNAL FINISHES LEGEND

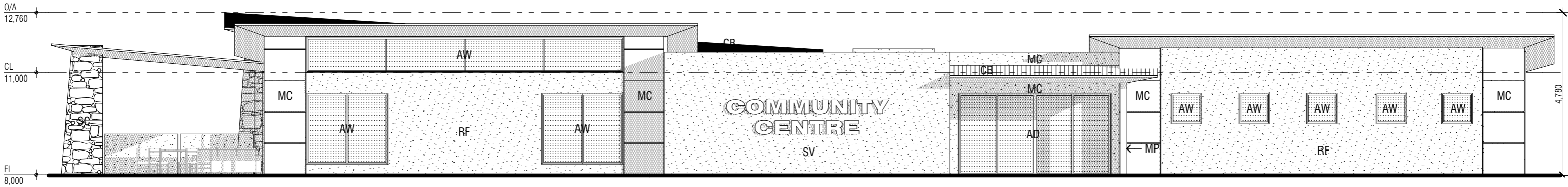
- AD - SOLID CORE ACCESS DOOR
AW - ALUMINIUM FRAMED WINDOWS
AD - ALUMINIUM FRAMED SOLID DOOR
AFS - AFS WALL SYSTEM
RPB - RENDERED & PAINTED BLOCKWORK
CC - CONCRETE COLUMNS
PS - PRIVACY SCREEN
CB - COLORBOND 'CUSTOM ORB ROOF SHEETING
CG - COLORBOND FASCIA & QUAD GUTTERING
DP - PVC DOWNPIPES
FD - GLAZED ALUMINIUM FRAMED FRENCH DOORS
GD - GARAGE ROLLER DOORS
MP - 200sq. MERBAU TIMBER POSTS
RF - RENDERED FOAM WALL CLADDING
TD - SOLID CORE TIMBER FRONT DOOR
WB - SCYON 'STRIA' WEATHERBOARD CLADDING
MC - SCYON 'MATRIX' CLADDING
SC - STONE VENEERED AFS COLUMNS
SV - STONE VENEERED WALLS
GB - FRAMELESS GLASS BALUSTRADE
AB - ALUMINIUM BATTEN



ELEVATION A

SCALE 1 : 100

NOTE: SHADOWS DO NOT REPRESENT ACTUAL
SUN POSITION, THEY ARE COSMETIC ONLY.



ELEVATION D

SCALE 1 : 100

A 09/07/20 AMENITIES BLOCK ADDED TO NEW POOL AREA
POOL LEVEL REMOVED FROM COMM. CENTRE
ALL STRUCTURES LEVELS LOWERED

DA 26/02/20 ISSUED FOR COUNCIL SUBMISSION

ISSUE DATE AMENDMENT

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PROJECT

JOHNS ROAD RETIREMENT VILLAGE

LOCATION

135 JOHNS ROAD
WADALBA

CLIENT

TOCAE
COMMUNITY
CENTRE ELEV 1

DRAWING

DRAWN

MLB
AS SHOWN

SCALE

DATE

09 / 07 / 20
A

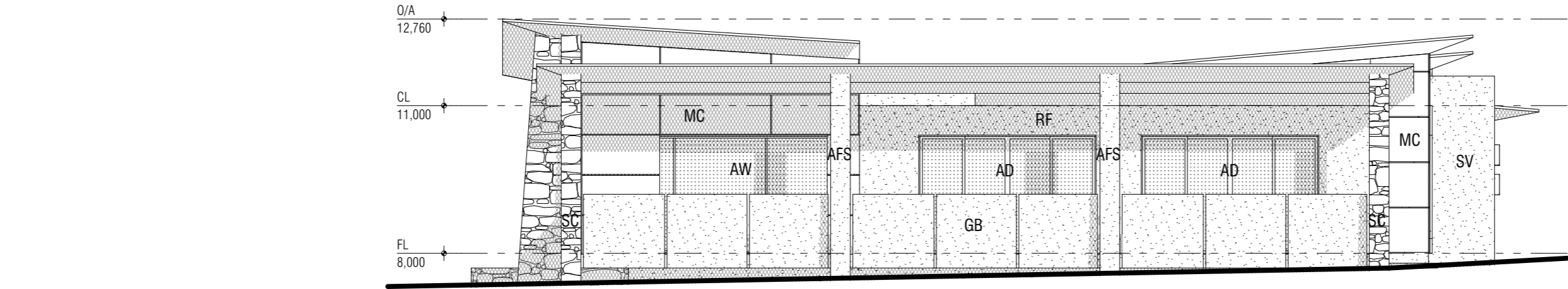
ISSUE

DWG No.

014

SHEET

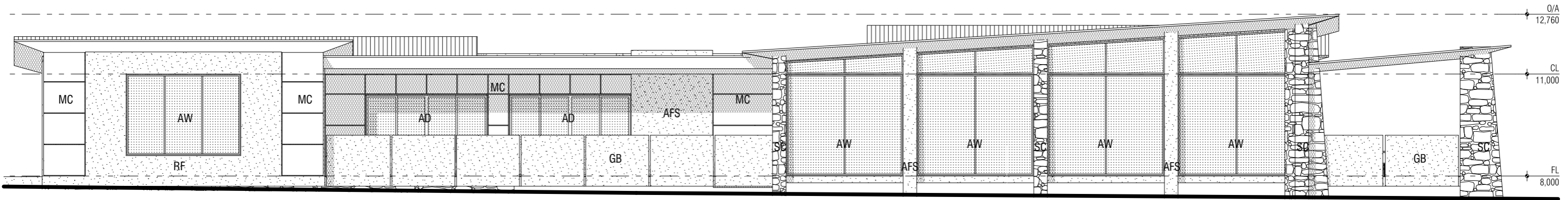
014 / 51
JOB No.
TOC 1901



- EXTERNAL FINISHES LEGEND**
- AD - SOLID CORE ACCESS DOOR
 - AW - ALUMINIUM FRAMED WINDOWS
 - AD - ALUMINIUM FRAMED SOLID DOOR
 - AFS - AFS WALL SYSTEM
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 - CC - CONCRETE COLUMNS
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 - SC - STONE VENEERED AFS COLUMNS
 - SV - STONE VENEERED WALLS
 - GB - FRAMELESS GLASS BALUSTRADE
 - AB - ALUMINIUM BATTEN

ELEVATION C
SCALE 1 : 100

NOTE: SHADOWS DO NOT REPRESENT ACTUAL
SUN POSITION, THEY ARE COSMETIC ONLY.



ELEVATION B
SCALE 1 : 100

A	09/07/20	AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE ALL STRUCTURES LEVELS LOWERED
DA	26/02/20	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT

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LOCATION **135 JOHNS ROAD
WADALBA**

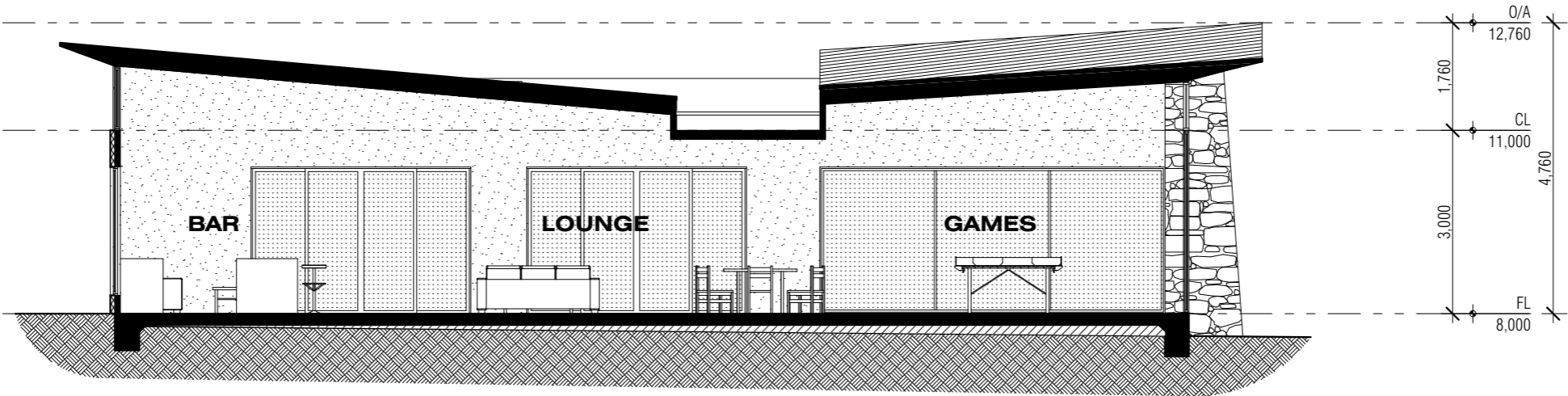
CLIENT **TOCAE**
DRAWING **COMMUNITY
CENTRE ELEV 2**

DRAWN **MLB**
SCALE **AS SHOWN**

DATE **09 / 07 / 20**
ISSUE **A**

DWG No. **015**

SHEET **015 / 51**
JOB No. **TOC 1901**



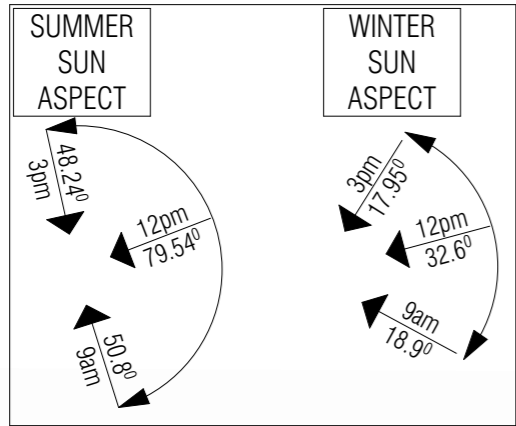
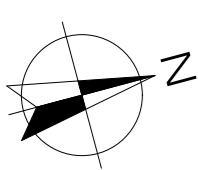


SECTION X - X

SCALE 1 : 125

A	09/07/20	AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE ALL STRUCTURES LEVELS LOWERED
	DA 26/02/20	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT

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VENTILATION TO GARBAGE STORE IN ACCORDANCE WITH AS 4674-2004

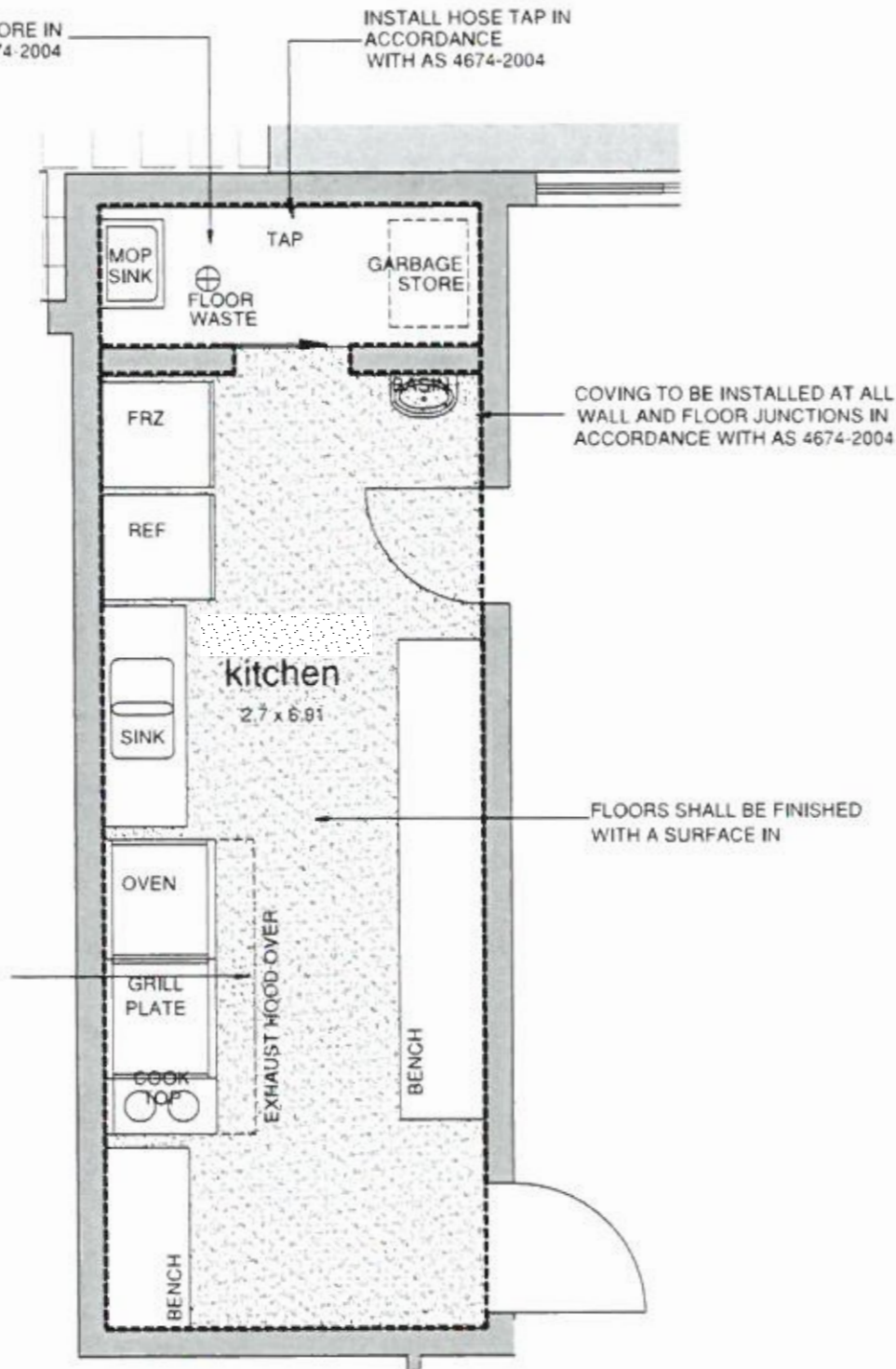
INSTALL HOSE TAP IN ACCORDANCE WITH AS 4674-2004

ALL WALL SURFACES TO BE MADE TO BE IMPERVIOUS IN ACCORDANCE WITH AS4674-2004

ALL WALLS TO COMMERCIAL KITCHEN TO BE OF SOLID CONSTRUCTION (NO CAVITY) IN ACCORDANCE WITH AS4674-2004

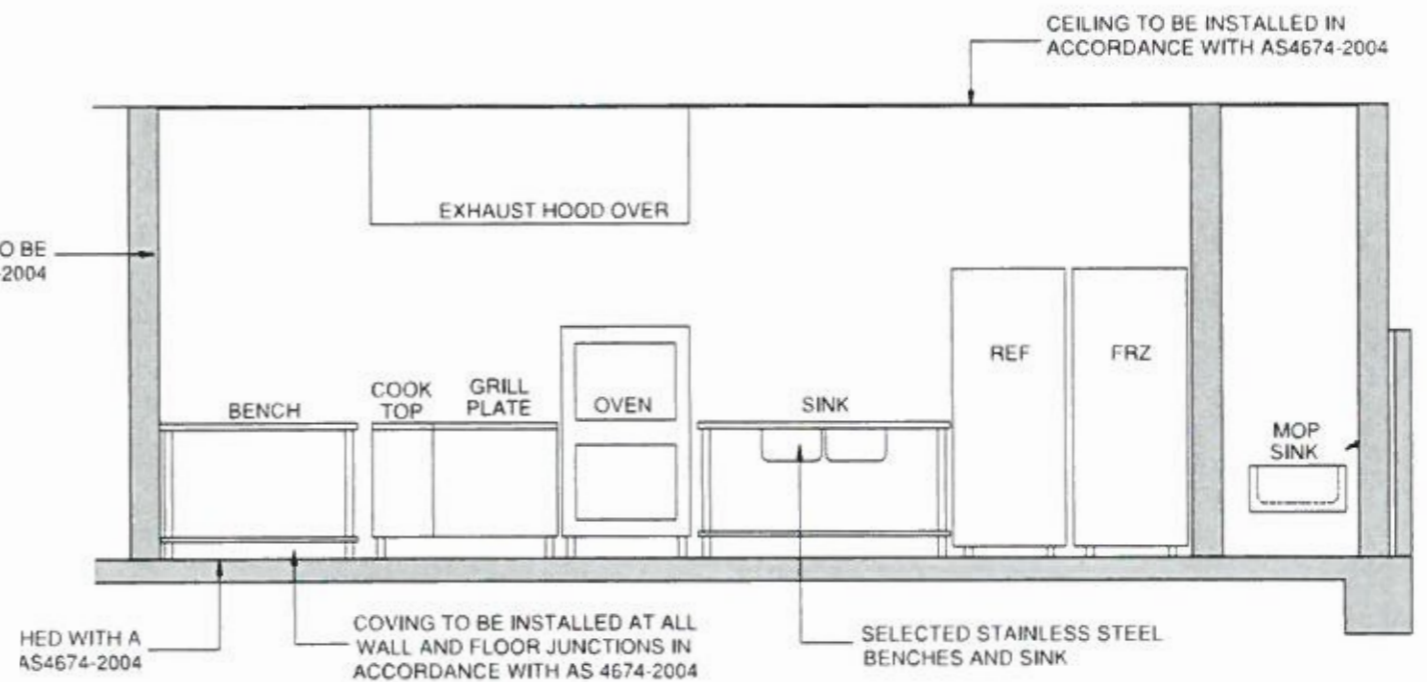
COVING TO BE INSTALLED AT ALL WALL AND FLOOR JUNCTIONS IN ACCORDANCE WITH AS 4674-2004

EXHAUST HOOD AND EXTRACTION TO BE FITTED TO COMPLY WITH CURRENT BCA REQUIREMENTS, AS4674-2004 AND AUSTRALIAN FOOD STANDARDS CODE 3.2.3 FOOD PREMISES AND EQUIPMENT



COMMERCIAL KITCHEN - FLOOR PLAN

SCALE 1 : 50



COMMERCIAL KITCHEN - TYP. SECTION

SCALE 1 : 50

A	09/07/20	AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE ALL STRUCTURES LEVELS LOWERED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
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PROJECT
JOHNS ROAD RETIREMENT VILLAGE

LOCATION
**135 JOHNS ROAD
WADALBA**

CLIENT
TOCAE

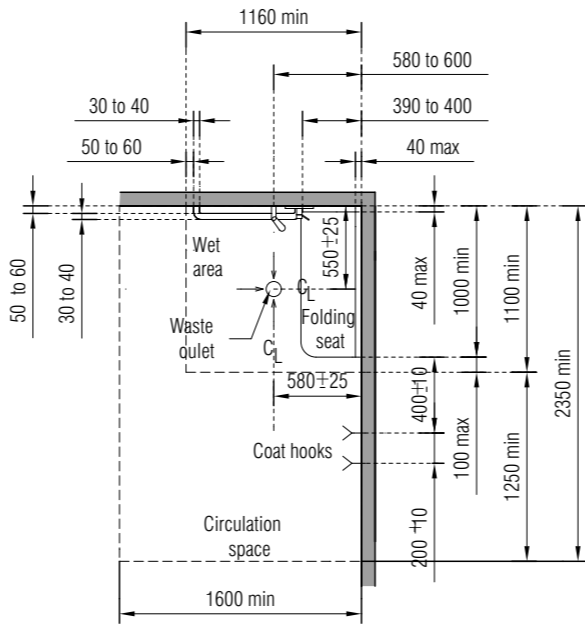
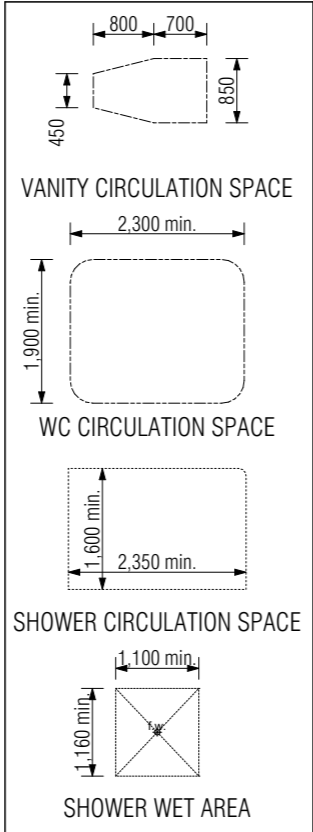
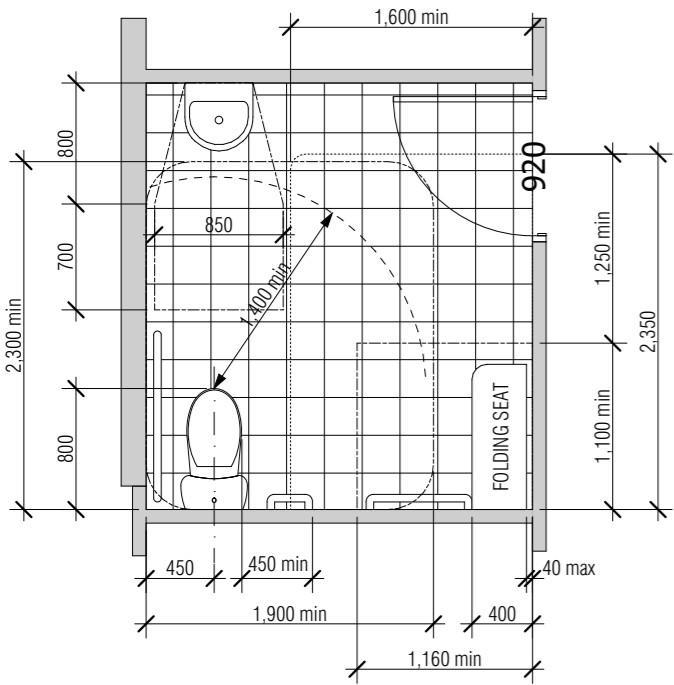
DRAWING
KITCHEN DETAILS

SCALE	AS SHOWN	DRAWN	MLB
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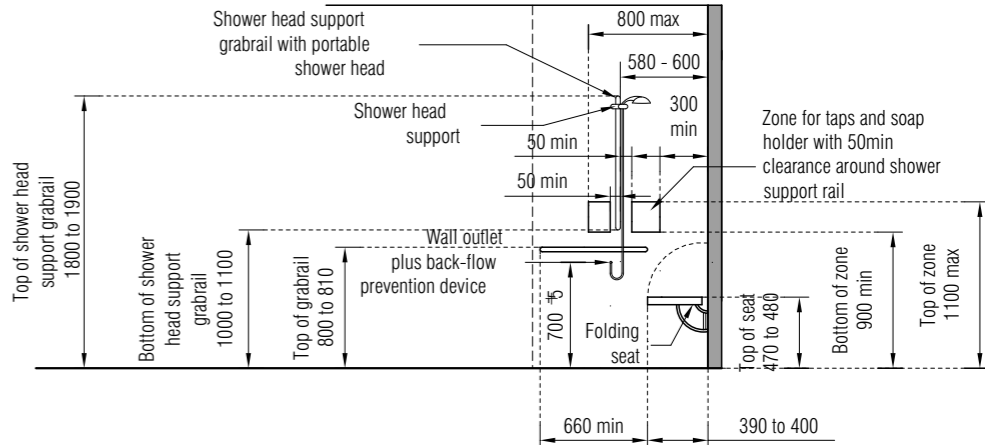
DATE	09 / 07 / 20	ISSUE	A
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DWG No.	017
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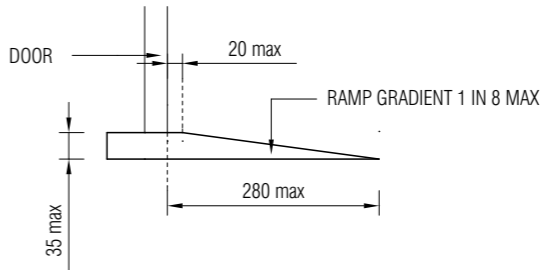
SHEET	017 / 51	JOB No.	TOC 1901
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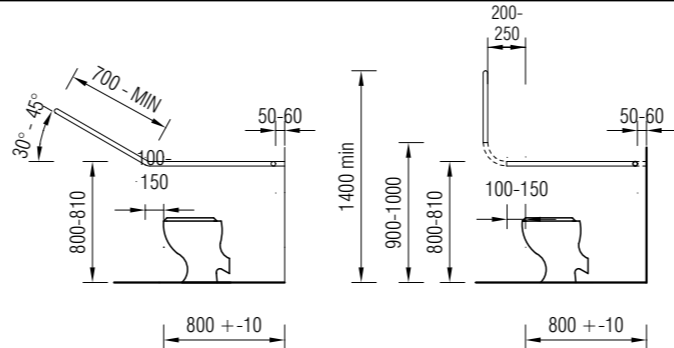
(a) Shower recess with two walls
DIMENSIONS IN MILLIMETRES
FIGURE 47 (in part) SHOWER RECESS AND CIRCULATION SPACE - PLAN



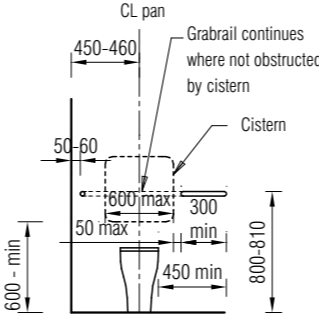
DIMENSIONS IN MILLIMETRES
FIGURE 48 SHOWER RECESS FITTINGS - ELEVATION



DIMENSIONS IN MILLIMETRES
FIGURE 21 THRESHOLD RAMP



(i) OPTION A (ii) OPTION B
(a) Side view showing optional systems for grabrail at sides of pan



(b) Grabrail at back of pan and sectional view of grabrail at side of pan
DIMENSIONS IN MILLIMETRES
FIGURE 42 POSITIONS OF GRABRAIL IN WATER CLOSET

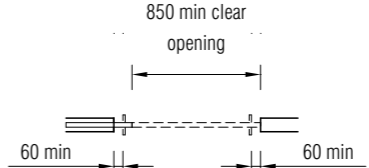
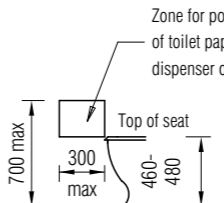
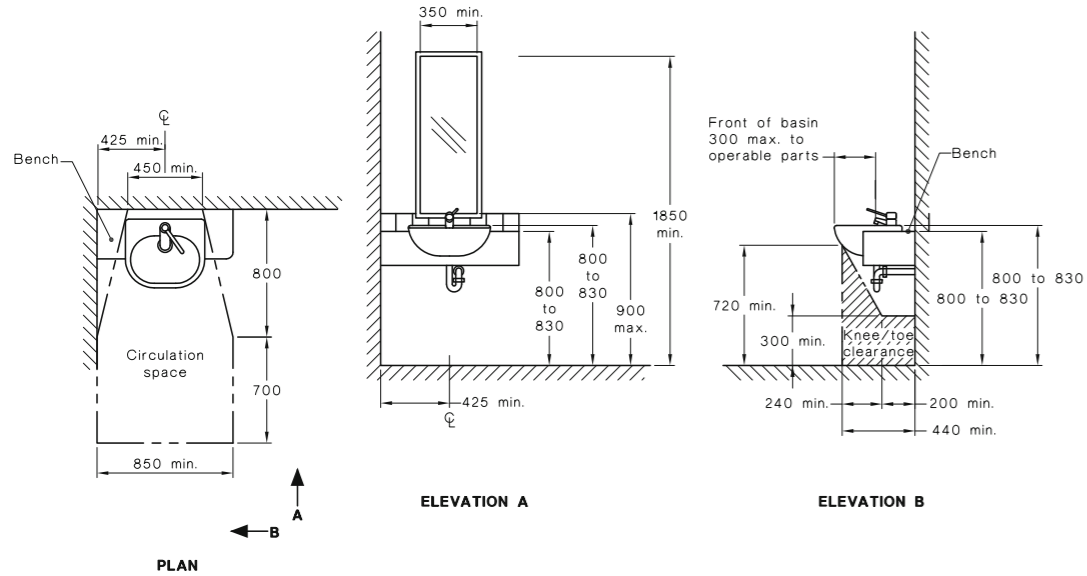


FIGURE 30 CLEAR OPENING OF DOORWAYS



DIMENSIONS IN MILLIMETRES
FIGURE 41 ZONE FOR POSITION OF TOILET PAPER DISPENSER

ACCESSIBLE BATHROOM TYP. SCALE 1:50

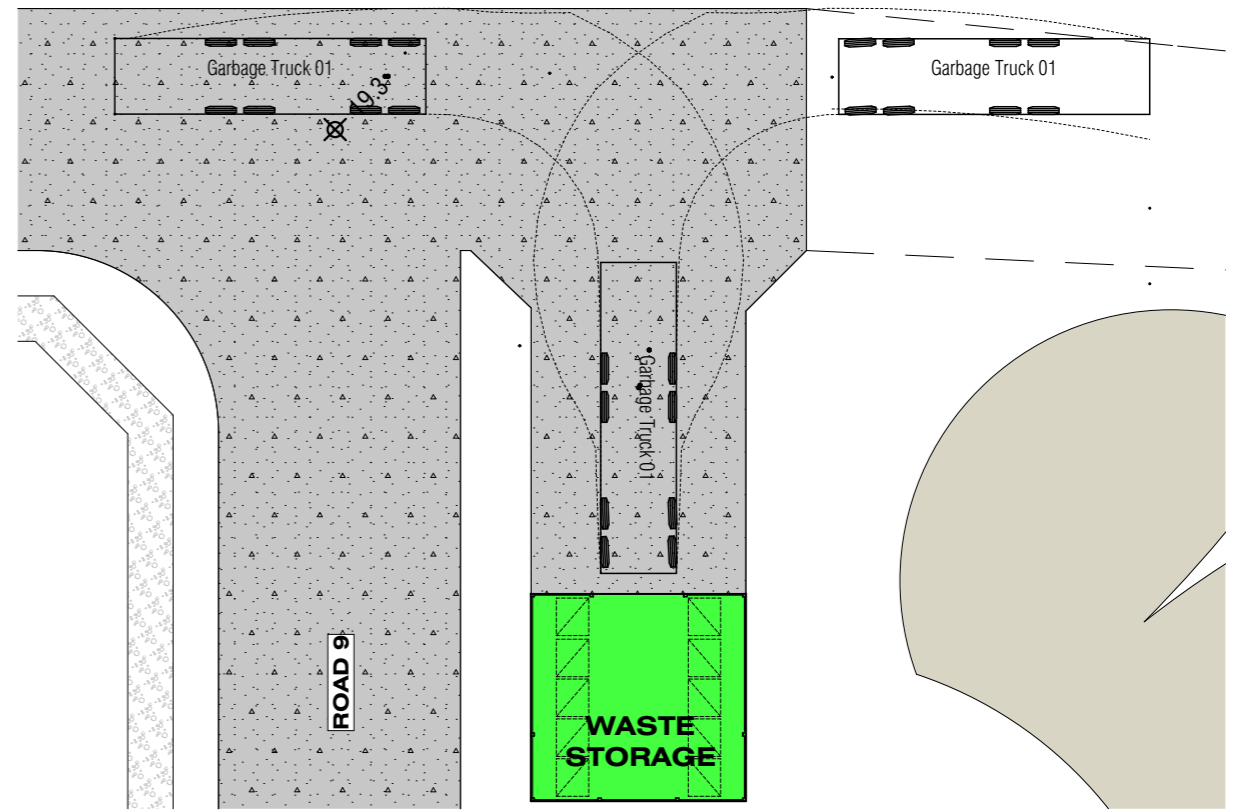
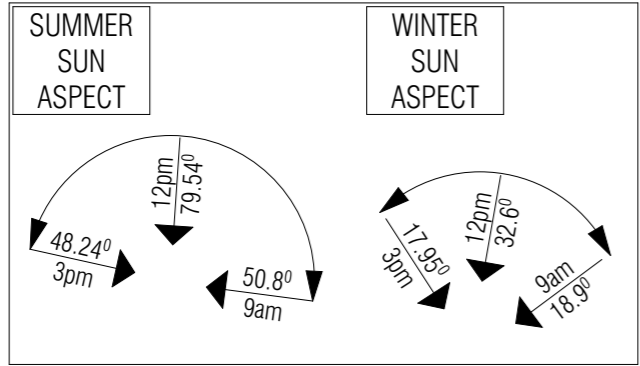
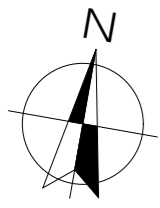


NOTE: 'Operable parts' means the centre-line of the tap, or where a level handle is provided, the end point of the level measure throughout its arc of movement, or where a sensor is provided where the sensor is reliably activated.

DIMENSIONS IN MILLIMETRES
FIGURE 44(A) SEMI-RECESSED WASHBASIN INSTALLATION —OTHER THAN FOR SOLE-OCCUPANCY UNIT

AS 1428.1: ALL ACCESSIBLE AREAS AND ELEMENTS TO BE SUPPLIED, INSTALLED & CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF AUSTRALIAN STANDARD AS 1428.1 - 2009.

A	09/07/20	AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE ALL STRUCTURES LEVELS LOWERED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT
BLACKDRAFT architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355		
PROJECT JOHNS ROAD RETIREMENT VILLAGE		
LOCATION 135 JOHNS ROAD WADALBA		
CLIENT TOCAE		
DRAWING ACCESSIBILITY DETAILS		
SCALE	AS SHOWN	DRAWN MLB
DATE	09 / 07 / 20	ISSUE A
DWG No.	018	
SHEET	018 / 51	JOB No. TOC 1901



WASTE STORAGE & COLLECTION AREA

SCALE 1 : 250

DA	09/07/20	ALL STRUCTURES LEVELS LOWERED RETAINING REDUCED ALONG WESTERN BDY LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING DUAL VILLAS ADDED LOTS 1 & 2 AMENITIES BLOCK ADDED TO NEW POOL AREA POOL LEVEL REMOVED FROM COMM. CENTRE MENS SHED RELOCATED ADJ. WASTE AREA APARTMENT BUILDING SIZE REDUCED WASTE AREA ENCLOSURE SIZE INCREASED APZ AMENDED TO BE 60m FROM BUILDING ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT

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PROJECT **JOHNS ROAD
RETIREMENT VILLAGE**

LOCATION **135 JOHNS ROAD
WADALBA**

CLIENT **TOCAE GROUP**

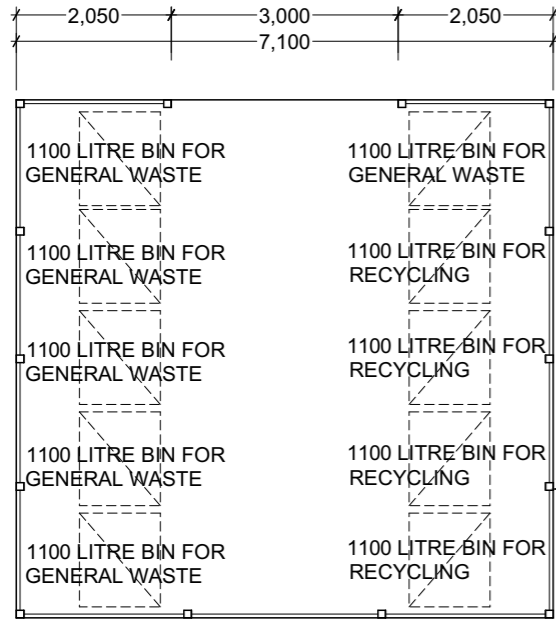
DRAWING **WASTE AREA**

SCALE **AS SHOWN** DRAWN **MLB**

DATE **09 / 07 / 20** ISSUE **A**

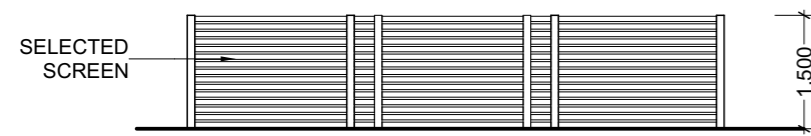
DWG No. **019**

SHEET **019 / 51** JOB No. **TOC 1901**



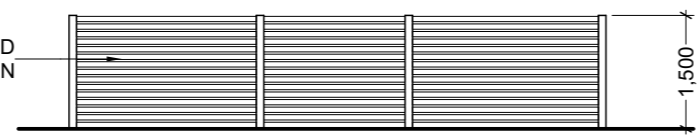
BIN STORAGE AREA

SCALE 1 : 100@A1



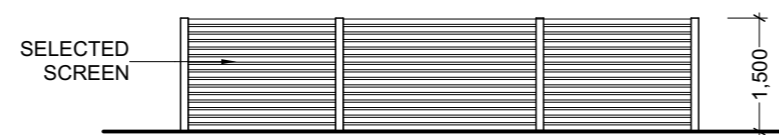
FRONT ELEVATION

SCALE 1 : 100@A1



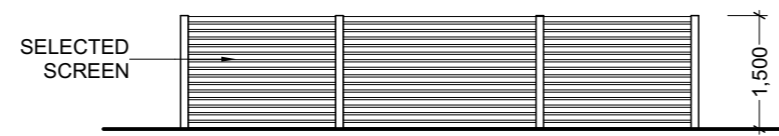
REAR ELEVATION

SCALE 1 : 100@A1



SIDE ELEVATION

SCALE 1 : 100@A1

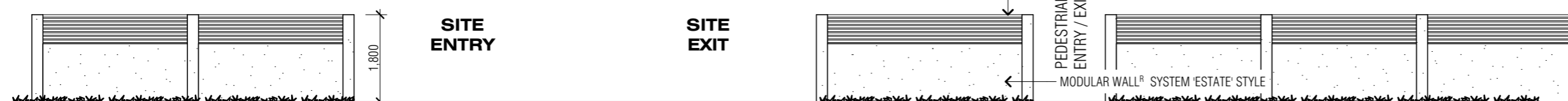
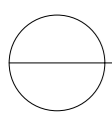


SIDE ELEVATION

SCALE 1 : 100@A1

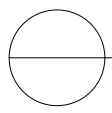
BIN STORAGE AREA

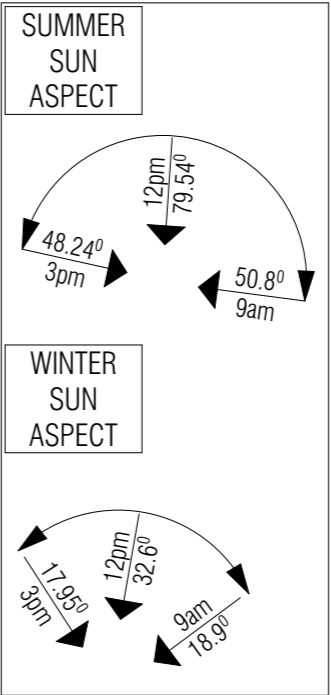
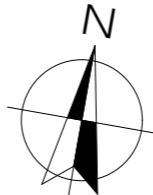
SCALE 1 : 100



FRONT FENCE TYP.

SCALE 1 : 100

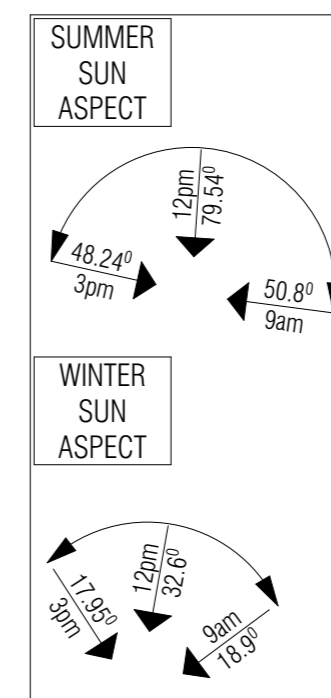




A 09/07/20 ALL STRUCTURES LEVELS LOWERED
RETAINING REDUCED ALONG WESTERN BDY
LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING
DUAL VILLAS ADDED LOTS 1 & 2
AMENITIES BLOCK ADDED TO NEW POOL AREA
POOL LEVEL REMOVED FROM COMM. CENTRE
MENS SHED RELOCATED ADJ. WASTE AREA
APARTMENT BUILDING SIZE REDUCED
WASTE AREA ENCLOSURE SIZE INCREASED
APZ AMENDED TO BE 60m FROM BUILDING
ISSUED FOR COUNCIL SUBMISSION

DA 26/02/20
ISSUE DATE AMENDMENT
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architectural design
blackdraft333@gmail.com
mob 0449 758 866 abn 53 392 045 355

PROJECT	JOHNS ROAD RETIREMENT VILLAGE		
LOCATION	135 JOHNS ROAD WADALBA		
CLIENT	TOCAE GROUP		
DRAWING	9AM SHADOWS		
SCALE	AS SHOWN	DRAWN	MLB
DATE	09 / 07 / 20	ISSUE	A
DWG No.	020		
SHEET	020 / 51	JOB No.	TOC 1901



DA 09/07/20
 ISSUE DATE AMENDMENT
 ALL STRUCTURES LEVELS LOWERED
 RETAINING REDUCED ALONG WESTERN BDY
 LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING
 DUAL VILLAS ADDED LOTS 1 & 2
 AMENITIES BLOCK ADDED TO NEW POOL AREA
 POOL LEVEL REMOVED FROM COMM. CENTRE
 MENS SHED RELOCATED ADJ. WASTE AREA
 APARTMENT BUILDING SIZE REDUCED
 WASTE AREA ENCLOSURE SIZE INCREASED
 APZ AMENDED TO BE 60m FROM BUILDING
 ISSUED FOR COUNCIL SUBMISSION

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 mob 0449 758 866 abn 53 392 045 355

PROJECT **JOHNS ROAD
 RETIREMENT VILLAGE**

LOCATION **135 JOHNS ROAD
 WADALBA**

CLIENT **TOCAE GROUP**

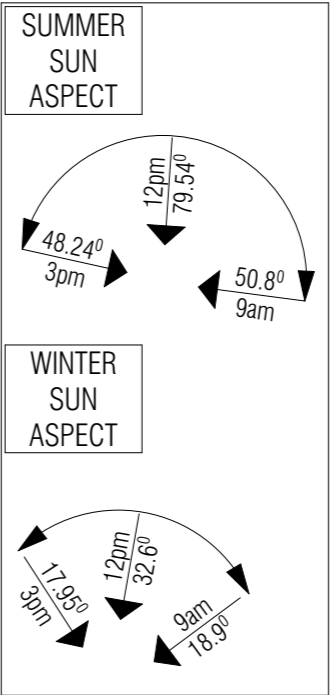
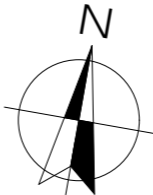
DRAWING **12PM SHADOWS**

SCALE **AS SHOWN** DRAWN **MLB**

DATE **09 / 07 / 20** ISSUE **A**

DWG No. **021**

SHEET **021 / 51** JOB No. **TOC 1901**



A 09/07/20 ALL STRUCTURES LEVELS LOWERED
RETAINING REDUCED ALONG WESTERN BDY
LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING
DUAL VILLAS ADDED LOTS 1 & 2
AMENITIES BLOCK ADDED TO NEW POOL AREA
POOL LEVEL REMOVED FROM COMM. CENTRE
MENS SHED RELOCATED ADJ. WASTE AREA
APARTMENT BUILDING SIZE REDUCED
WASTE AREA ENCLOSURE SIZE INCREASED
APZ AMENDED TO BE 60m FROM BUILDING
ISSUED FOR COUNCIL SUBMISSION

DA 26/02/20
ISSUE DATE AMENDMENT

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PROJECT	JOHNS ROAD RETIREMENT VILLAGE		
LOCATION	135 JOHNS ROAD WADALBA		
CLIENT	TOCAE GROUP		
DRAWING	3PM SHADOWS		
SCALE	AS SHOWN	DRAWN	MLB
DATE	09 / 07 / 20	ISSUE	A
DWG No.	022		
SHEET	022 / 51	JOB No.	TOC 1901

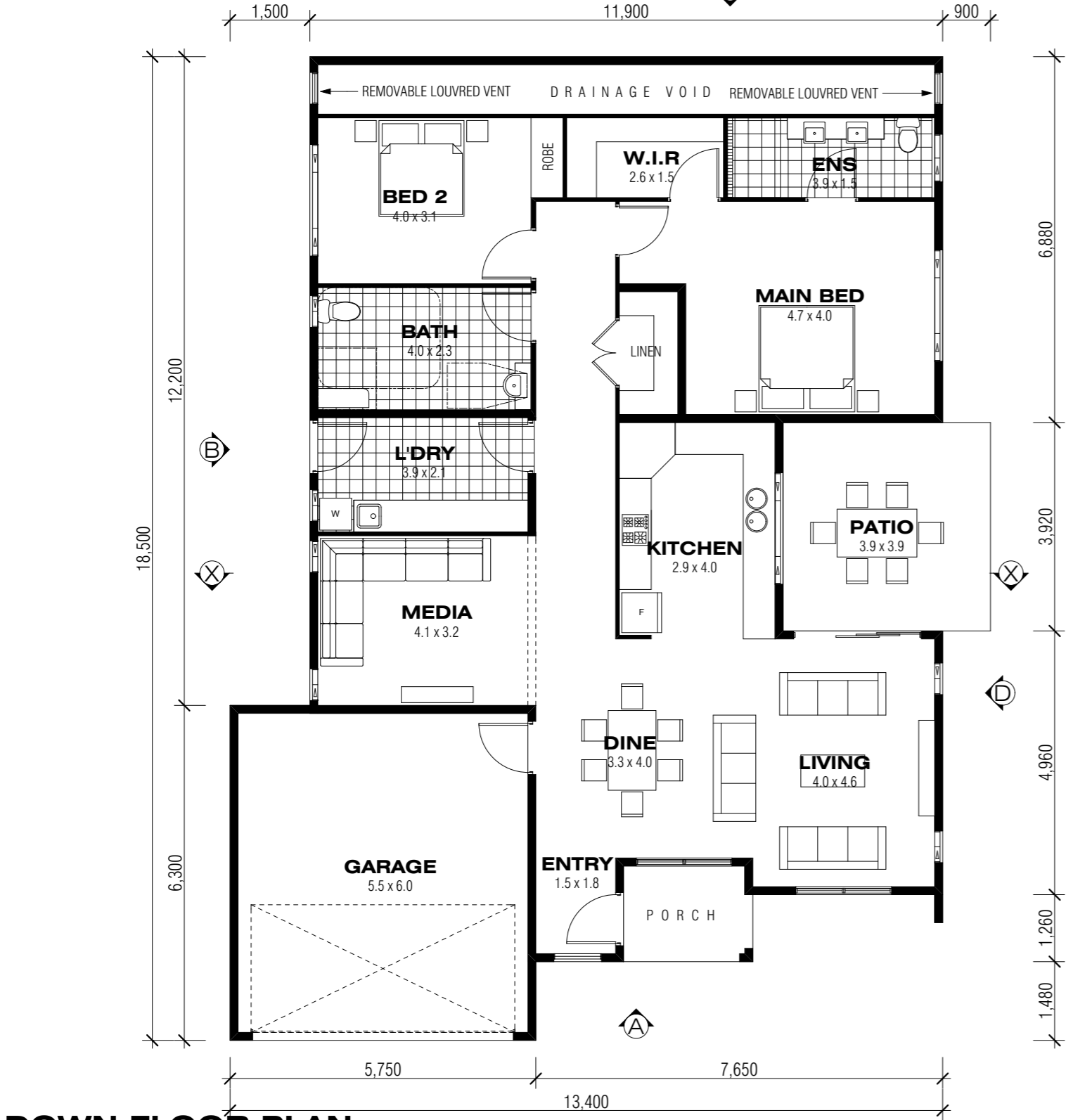
AREA CALCULATIONS					
UP & DOWN TYPE 1					
LOWER UNIT			UPPER UNIT		
LIVING	=	162.5 m ²	LIVING	=	129.6 m ²
GARAGE	=	35.3 m ²	GARAGE	=	39.4 m ²
PATIO	=	11.7 m ²	TERRACE	=	27.7 m ²
PORCH	=	5.2 m ²	DRYING COURT	=	8.1 m ²
			PORCH	=	3.2 m ²

NOTE: FINAL LOCATION OF BINS, WATER TANK AND CLOTHESLINE TO BE DETERMINED ON SITE

NOTE: HARDWIRED SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3786

NOTE: WALL AND CEILING INSULATION IN ACCORDANCE WITH BASIX REQUIREMENTS.

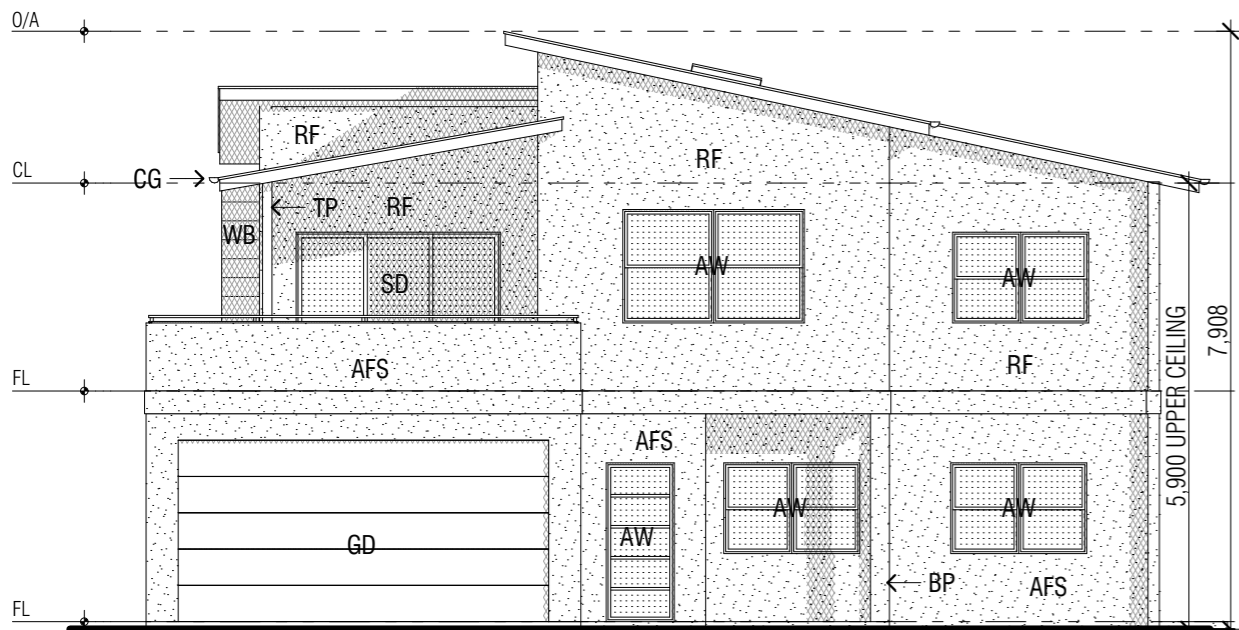
NOTE: THRESHOLD RAMPS TO BE PROVIDED AT ALL EXTERNAL ENTRANCES & TO BE IN ACCORDANCE WITH AS 1428.1 - 2009



DOWN FLOOR PLAN
SCALE 1 : 100

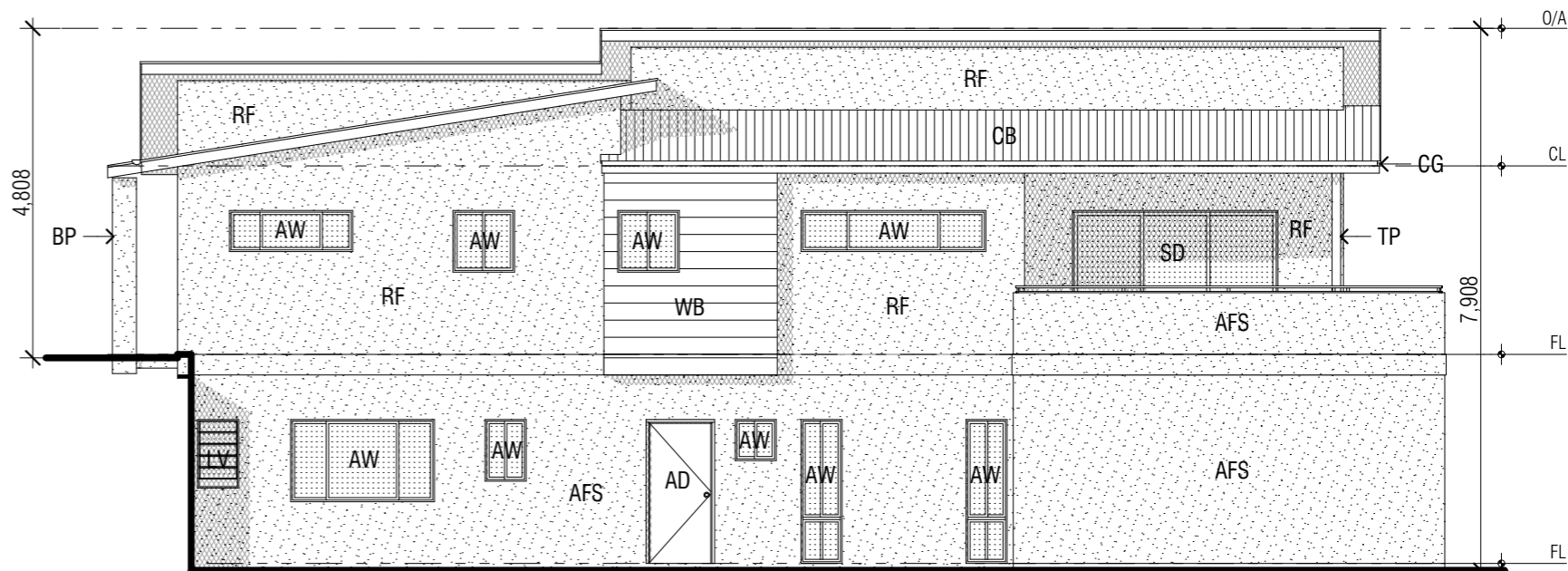


UP FLOOR PLAN
SCALE 1 : 100

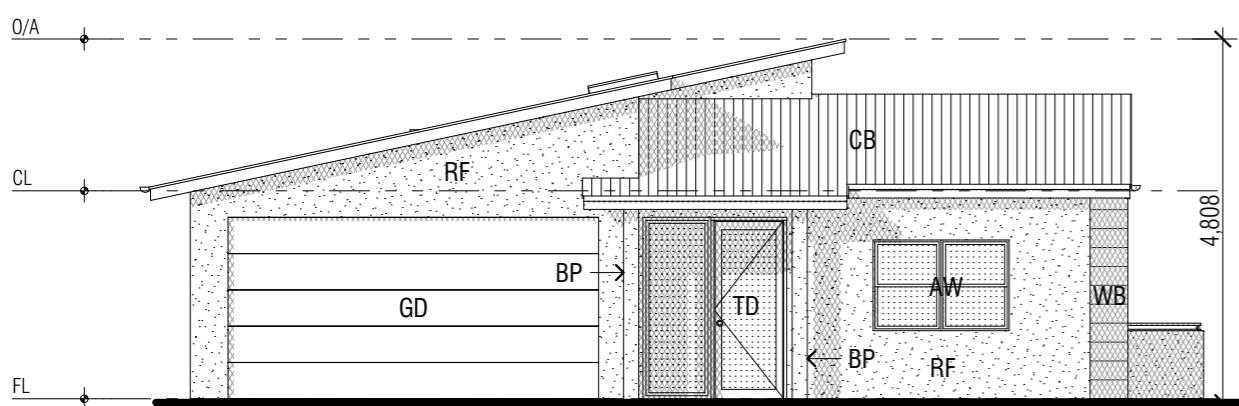


ELEVATION A
SCALE 1 : 100

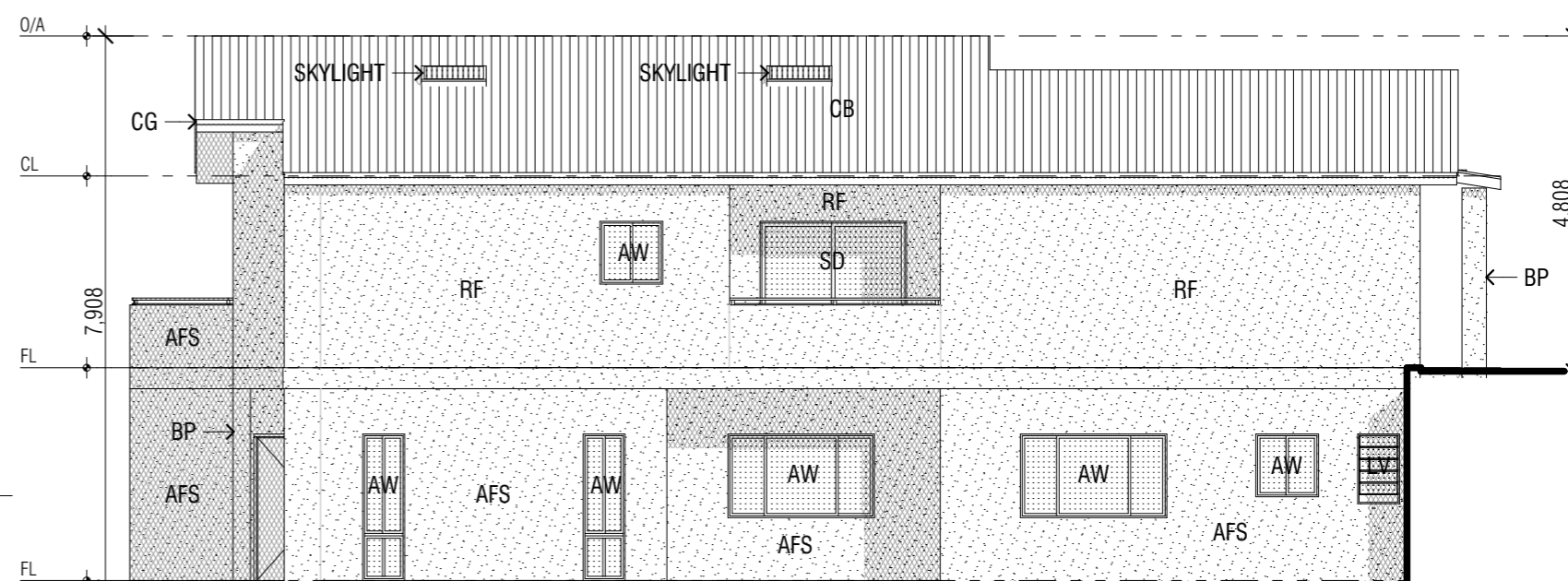
NOTE: SHADOWS DO NOT REPRESENT ACTUAL
SUN POSITION, THEY ARE COSMETIC ONLY.



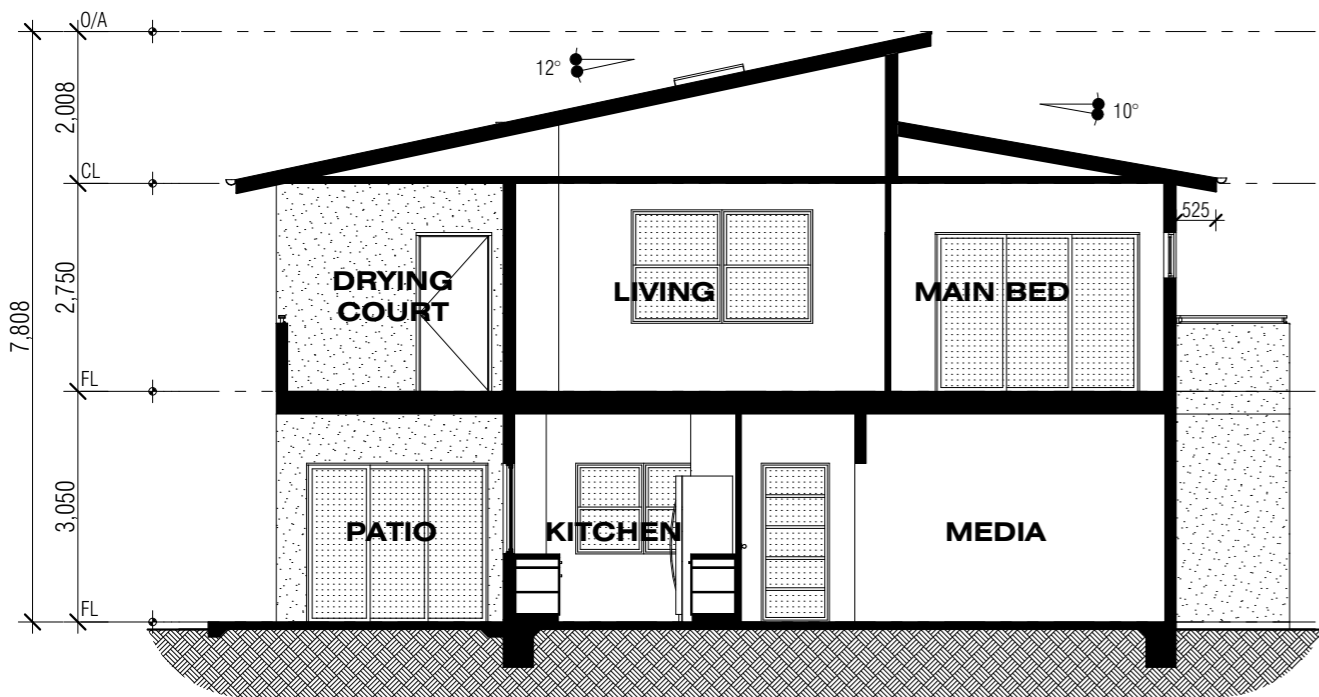
ELEVATION B
SCALE 1 : 100



ELEVATION C
SCALE 1 : 100



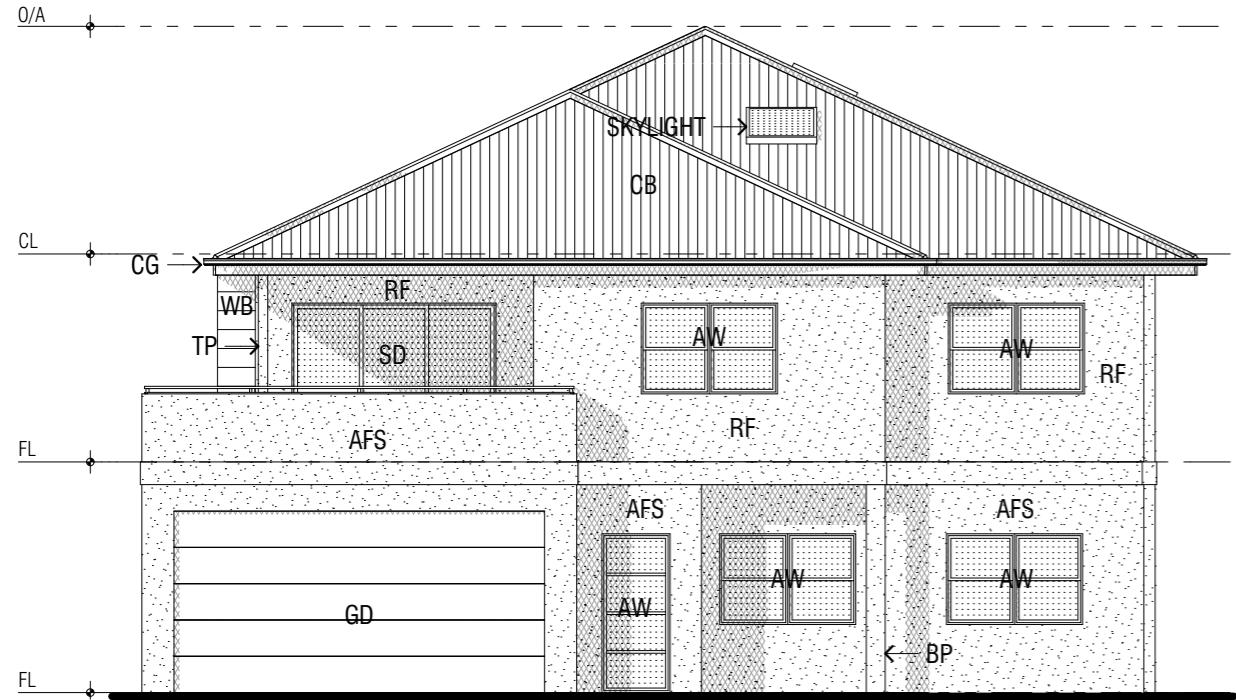
ELEVATION D
SCALE 1 : 100



SECTION X - X
SCALE 1 : 100

- EXTERNAL FINISHES LEGEND**
- AD - SOLID CORE ACCESS DOOR
 - AW - ALUMINIUM FRAMED WINDOWS
 - AFS - AFS WALL SYSTEM
 - CB - COLORBOND 'CUSTOM ORB ROOF SHEETING
 - CG - COLORBOND FASCIA & QUAD GUTTERING
 - DP - PVC DOWNPIPES
 - SD - ALUMINIUM FRAMED SLIDING DOORS
 - GD - GARAGE ROLLER DOORS
 - BP - AFS PIER
 - RF - RENDERED FOAM WALL CLADDING
 - TD - GLAZED TIMBER FRAMED FRONT DOOR
 - WB - SCYON 'STRIA' WEATHERBOARD CLADDING
 - TP - 125sq. TIMBER POST
 - RW - CONC. BLOCK RETAINING WALL
 - LV - ALUM. LOUVRED VENT

09/07/20 SKYLIGHT ADDED TO UPPER UNIT
TYPE 2 ELEVATION ADDED
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ELEVATION A1
SCALE 1 : 100

- EXTERNAL FINISHES LEGEND**
- AD - SOLID CORE ACCESS DOOR
 - AW - ALUMINIUM FRAMED WINDOWS
 - AFS - AFS WALL SYSTEM
 - CB - COLORBOND 'CUSTOM ORB' ROOF SHEETING
 - CG - COLORBOND FASCIA & QUAD GUTTERING
 - DP - PVC DOWNPIPES
 - SD - ALUMINIUM FRAMED SLIDING DOORS
 - GD - GARAGE ROLLER DOORS
 - BP - AFS PIER
 - RF - RENDERED FOAM WALL CLADDING
 - TD - GLAZED TIMBER FRAMED FRONT DOOR
 - WB - SCYON 'STRIA' WEATHERBOARD CLADDING
 - TP - 125sq. TIMBER POST
 - RW - CONC. BLOCK RETAINING WALL
 - LV - ALUM. LOUVRED VENT

NOTE: SHADOWS DO NOT REPRESENT ACTUAL
SUN POSITION, THEY ARE COSMETIC ONLY.

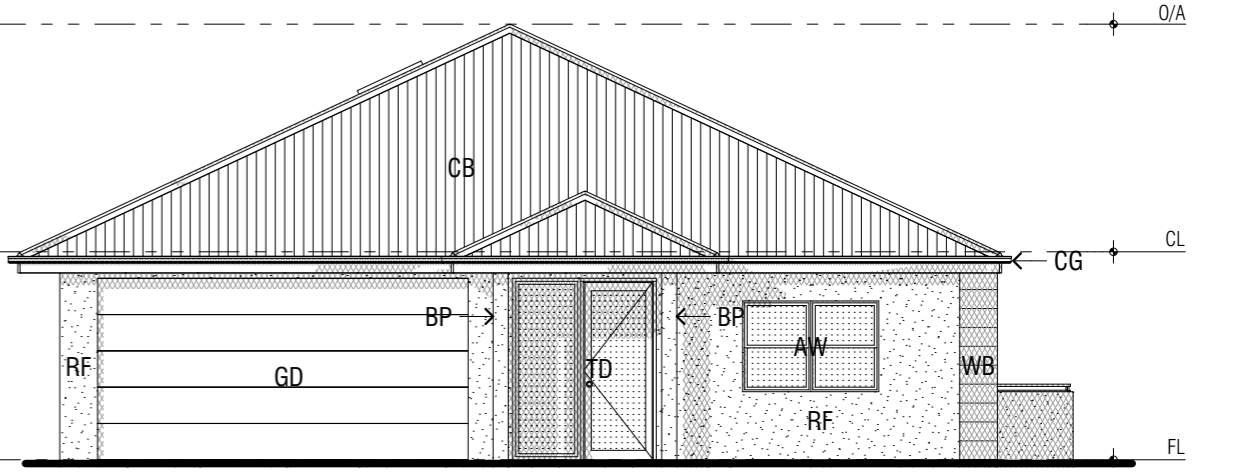


Certificate no.: 0004629540
Assessor Name: Gavin Chambers
Accreditation no.: VIC/BDAV/13/1491
Certificate date: 27 February 2020
Dwelling Address: 135 Johns Road
Wadalba, NSW 2259
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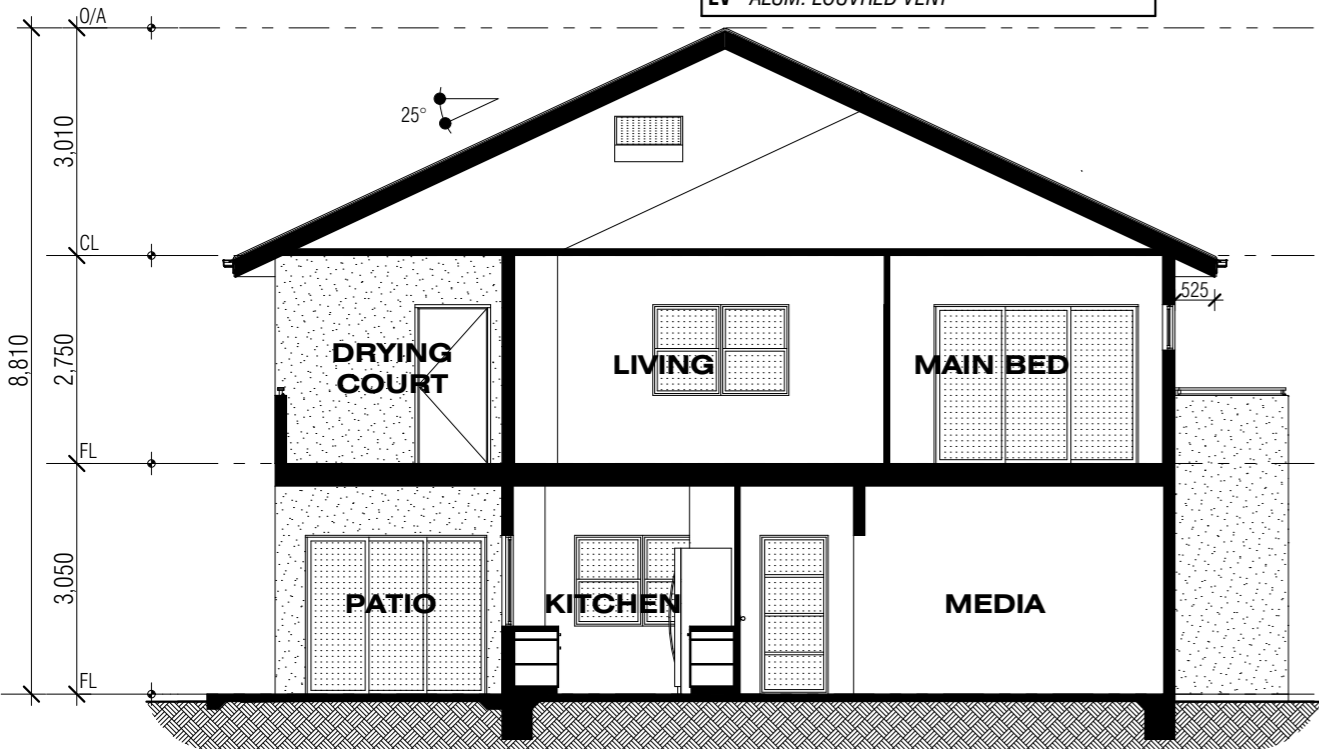


ELEVATION B1
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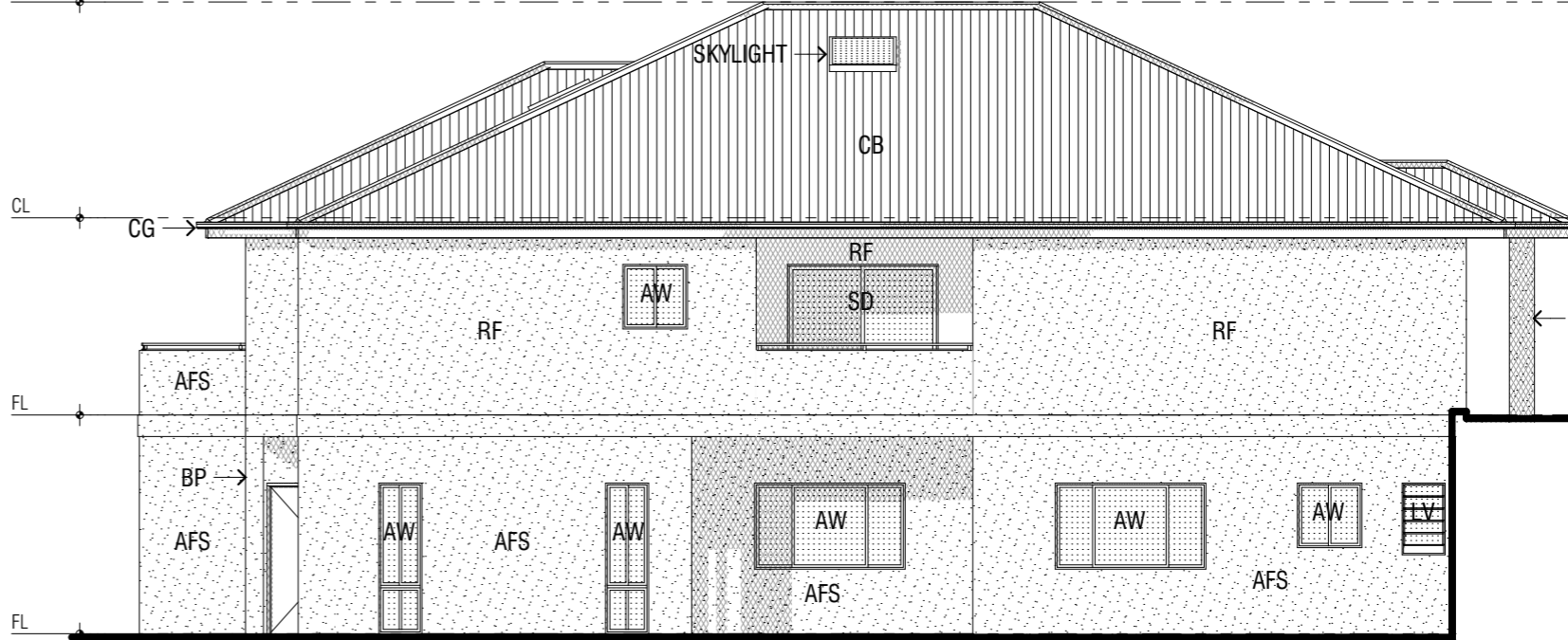
ELEVATION B1
SCALE 1 : 100



ELEVATION C1
SCALE 1 : 100



SECTION X1 - X1
SCALE 1 : 100



ELEVATION D1
SCALE 1 : 100

A	09/07/20	SKYLIGHT ADDED TO UPPER UNIT TYPE 2 ELEVATION ADDED ISSUED FOR COUNCIL SUBMISSION
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ISSUE	DATE	AMENDMENT

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mob 0449 75 88 66 abn 53 392 045 355

PROJECT **JOHNS ROAD RETIREMENT VILLAGE**
LOCATION **135 JOHNS ROAD
WADALBA**

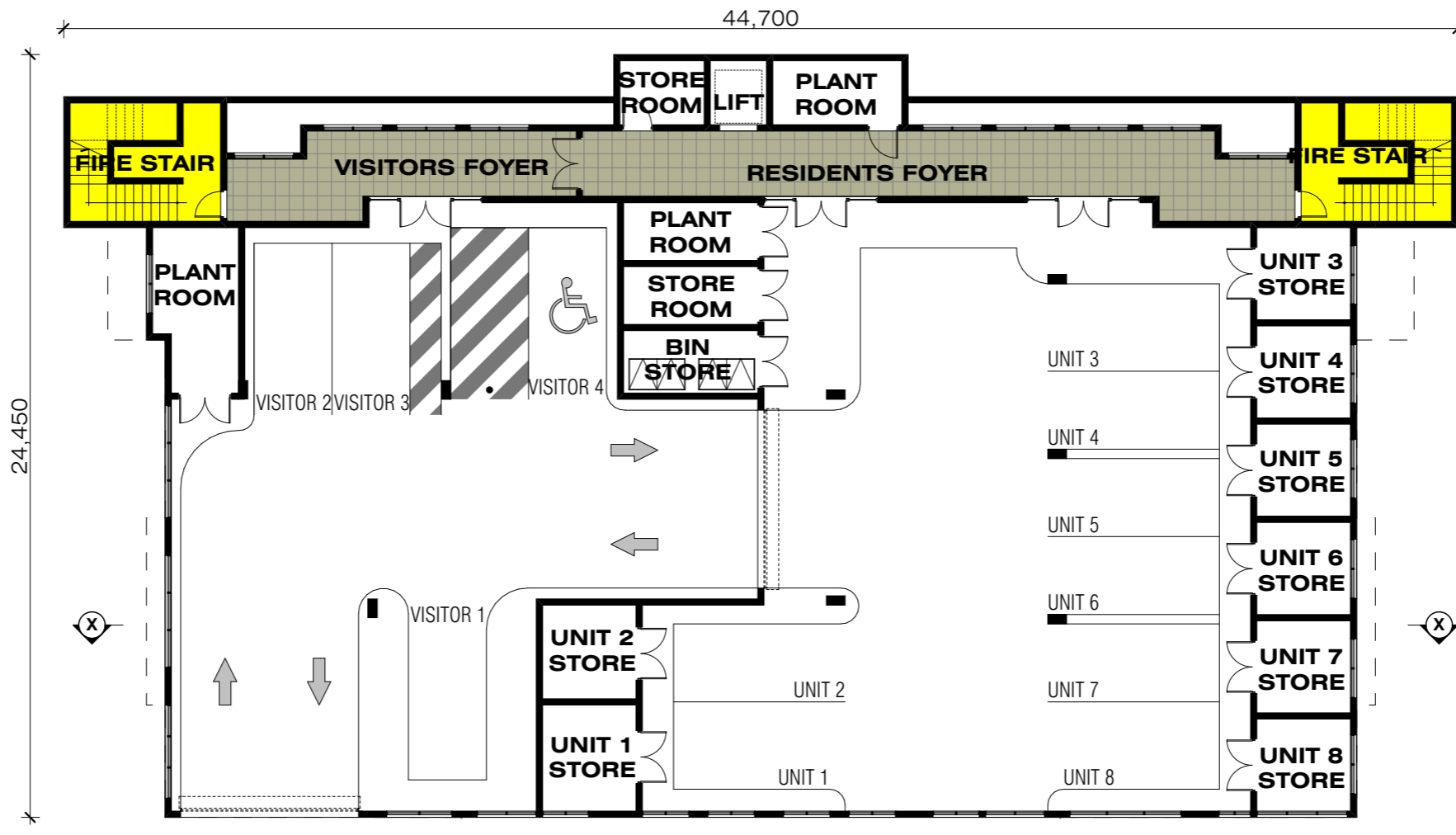
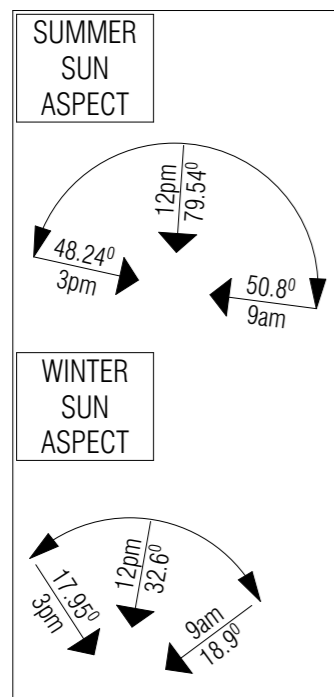
CLIENT **TOCAE GROUP**
DRAWING **UP/DOWN TYPE 2
ELEVATIONS**

DRAWN **MLB**
SCALE **AS SHOWN**

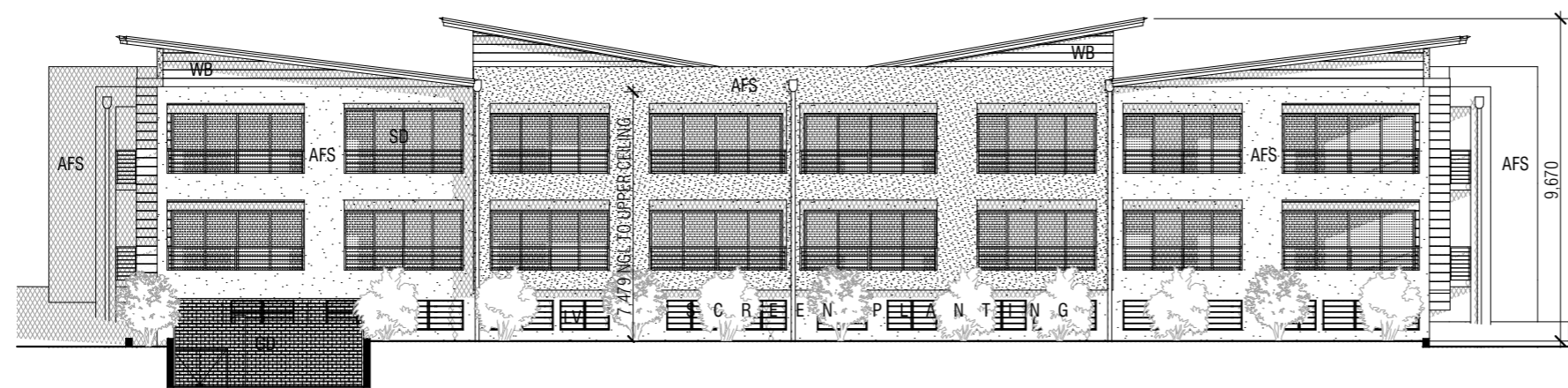
DATE **09 / 07 / 20**
ISSUE **A**

DWG No. **025**

SHEET **025 / 55**
JOB No. **TOC1901**

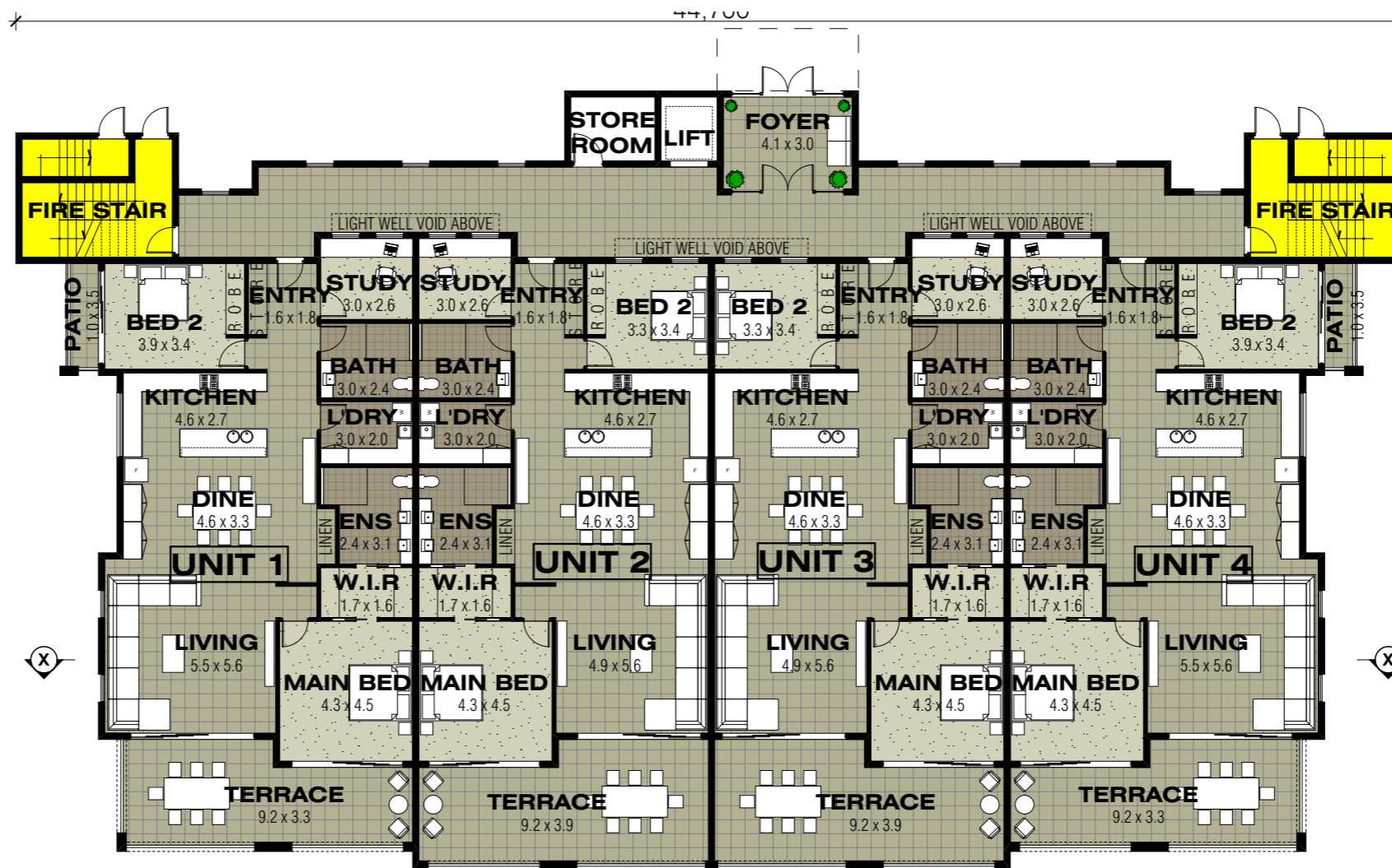
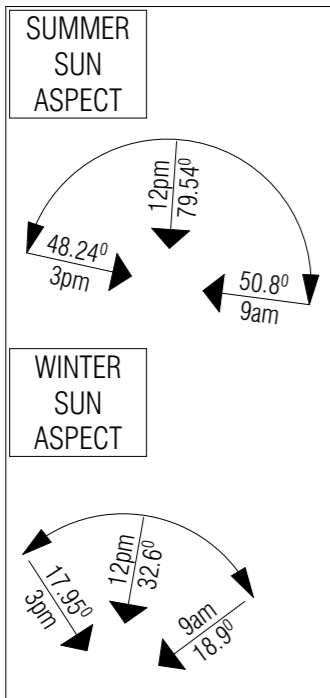
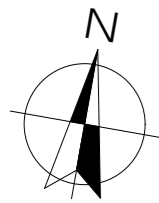


BASEMENT
SCALE 1 : 200



SOUTH ELEVATION
SCALE 1 : 200

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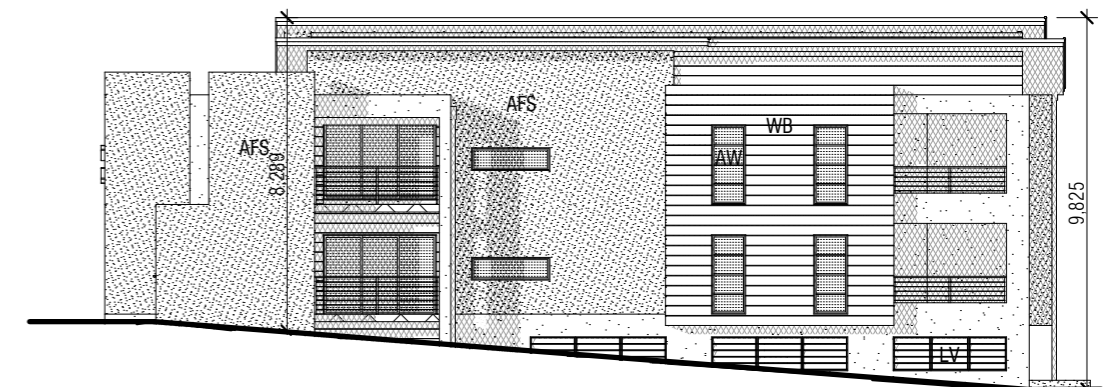


LEVEL 1
SCALE 1 : 200

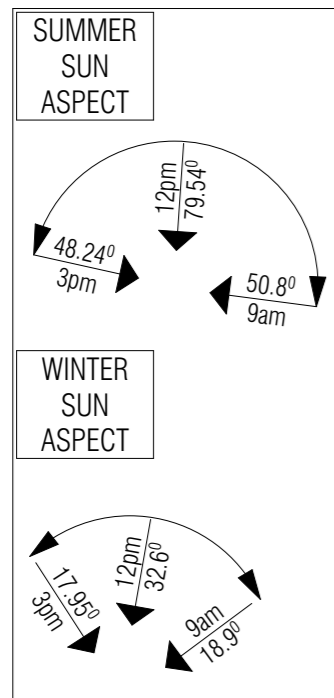
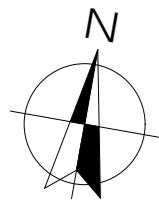
EXTERNAL FINISHES LEGEND	
AD	SOLID CORE ACCESS DOOR
AW	ALUMINIUM FRAMED WINDOWS
SD	ALUMINIUM FRAMED SLIDING DOORS
AFS	AFS WALL SYSTEM
RPB	RENDERED & PAINTED BLOCKWORK
CC	CONCRETE COLUMNS
PS	PRIVACY SCREEN
CB	COLORBOND 'CUSTOM ORB ROOF SHEETING
CG	COLORBOND FASCIA & QUAD GUTTERING
DP	PVC DOWNPIPES
FD	GLAZED ALUMINIUM FRAMED FRENCH DOORS
GD	SECURITY GRILL ROLLER DOOR
MP	200sq. MERBAU TIMBER POSTS
RF	RENDERED FOAM WALL CLADDING
TD	SOLID CORE TIMBER FRONT DOOR
WB	SCYON 'STRIA' WEATHERBOARD CLADDING
LV	LOUVRED VENTILATION PANEL



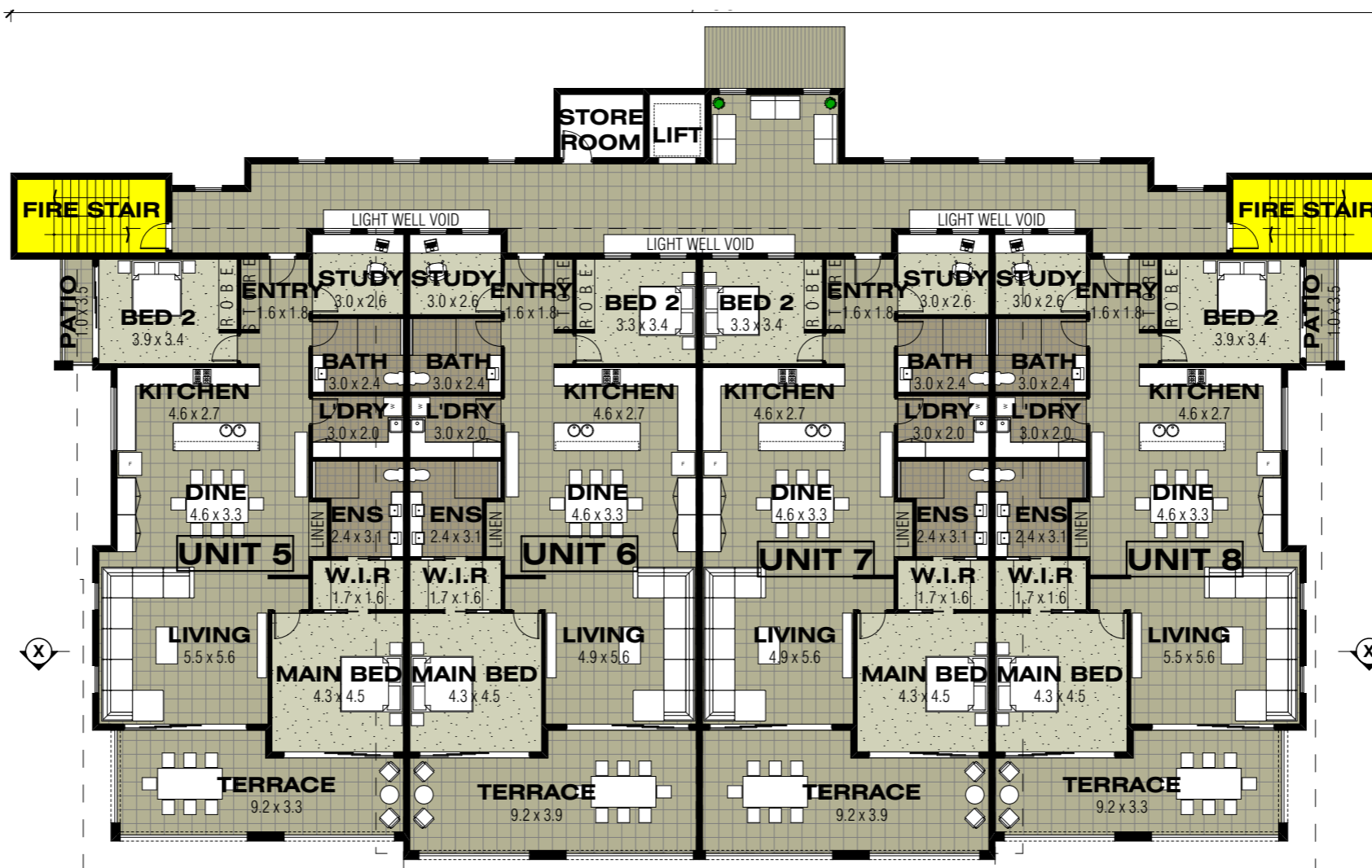
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SCALE 1 : 200



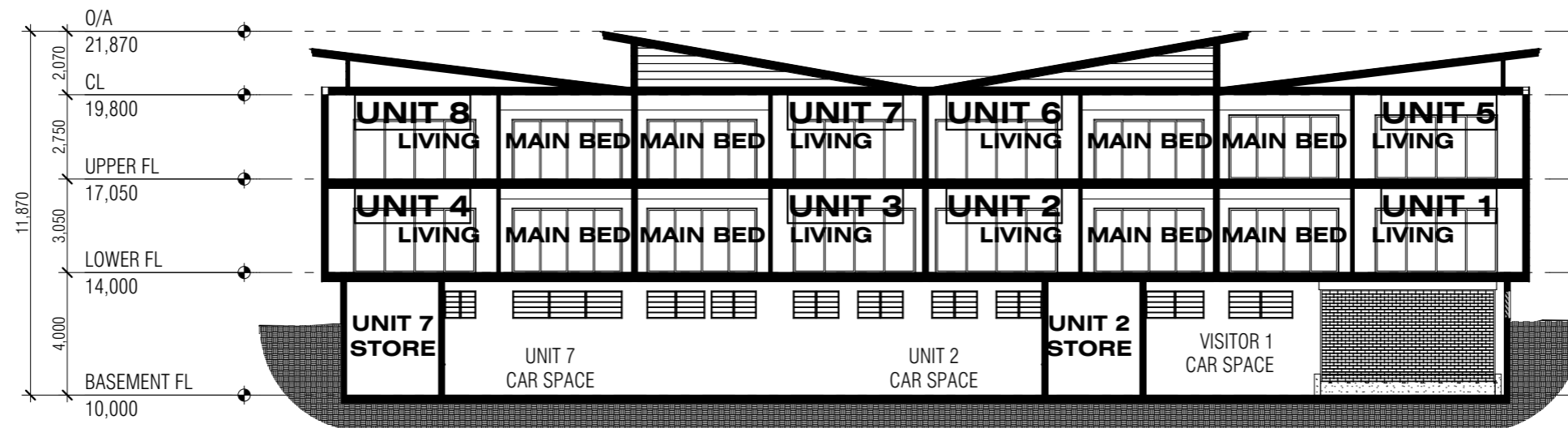
WEST/EAST TYP. ELEVATION
SCALE 1 : 200



25,050



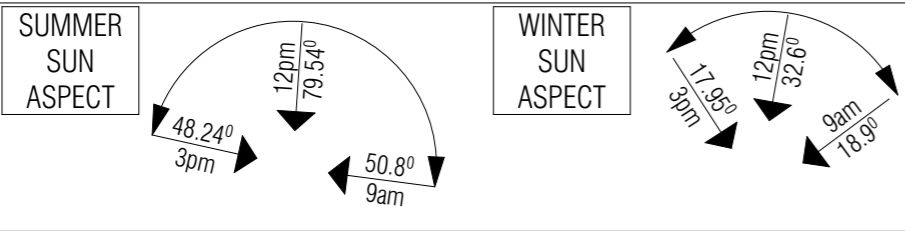
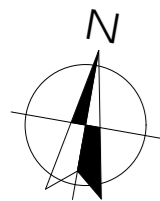
LEVEL 2
SCALE 1 : 200



SECTION X - X
SCALE 1 : 200

DA	26/02/20	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT

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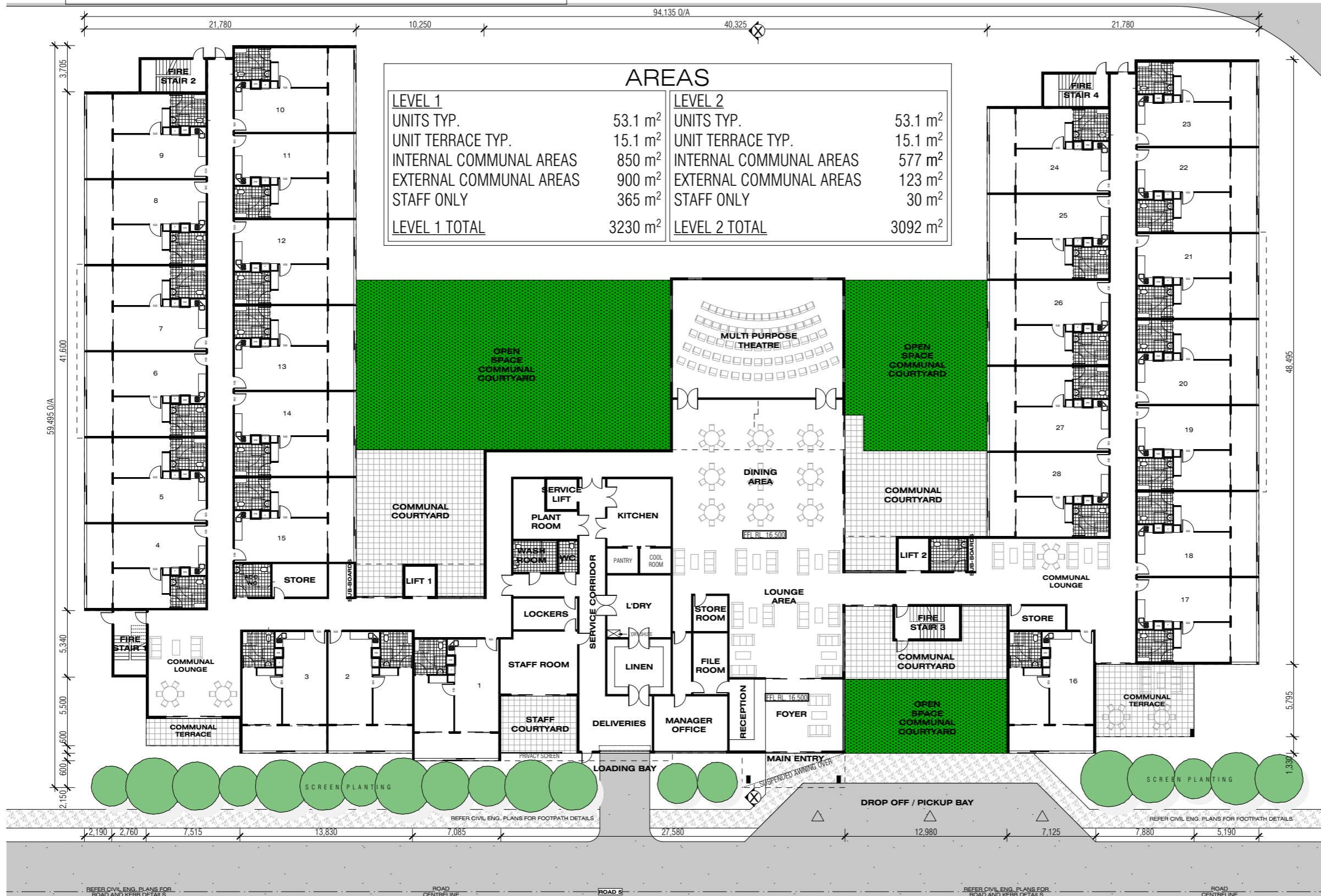


UNITS

LEVEL 1	28
LEVEL 2	35
TOTAL	63

AREAS

LEVEL 1		
UNITS TYP.	53.1 m ²	LEVEL 2
UNIT TERRACE TYP.	15.1 m ²	UNITS TYP.
INTERNAL COMMUNAL AREAS	850 m ²	UNIT TERRACE TYP.
EXTERNAL COMMUNAL AREAS	900 m ²	INTERNAL COMMUNAL AREAS
STAFF ONLY	365 m ²	EXTERNAL COMMUNAL AREAS
LEVEL 1 TOTAL	3230 m ²	STAFF ONLY
		LEVEL 2 TOTAL
		3092 m ²

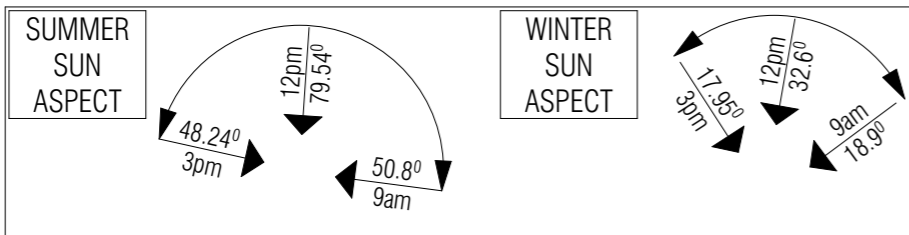
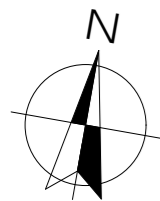


LEVEL 1 FLOOR PLAN

SCALE 1:350

A 09/07/20 BUILDING FOOTPRINT REDUCED
BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY
UNIT No.s REDUCED FROM 86 TO 63
BASEMENT CARPARK REMOVED
ISSUED FOR COUNCIL SUBMISSION

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PART LEVEL 1 PLAN

SCALE 1:150

A	09/07/20	BUILDING FOOTPRINT REDUCED BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY UNIT No.'s REDUCED FROM 86 TO 63 BASEMENT CARPARK REMOVED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT

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PROJECT
LOCATION

JOHNS ROAD RETIREMENT VILLAGE

**135 JOHNS ROAD
WADALBA**

CLIENT
DRAWING

TOCAE
LEVEL 1 PLAN 1

DRAWN
SCALE

MLB
AS SHOWN

DATE
ISSUE

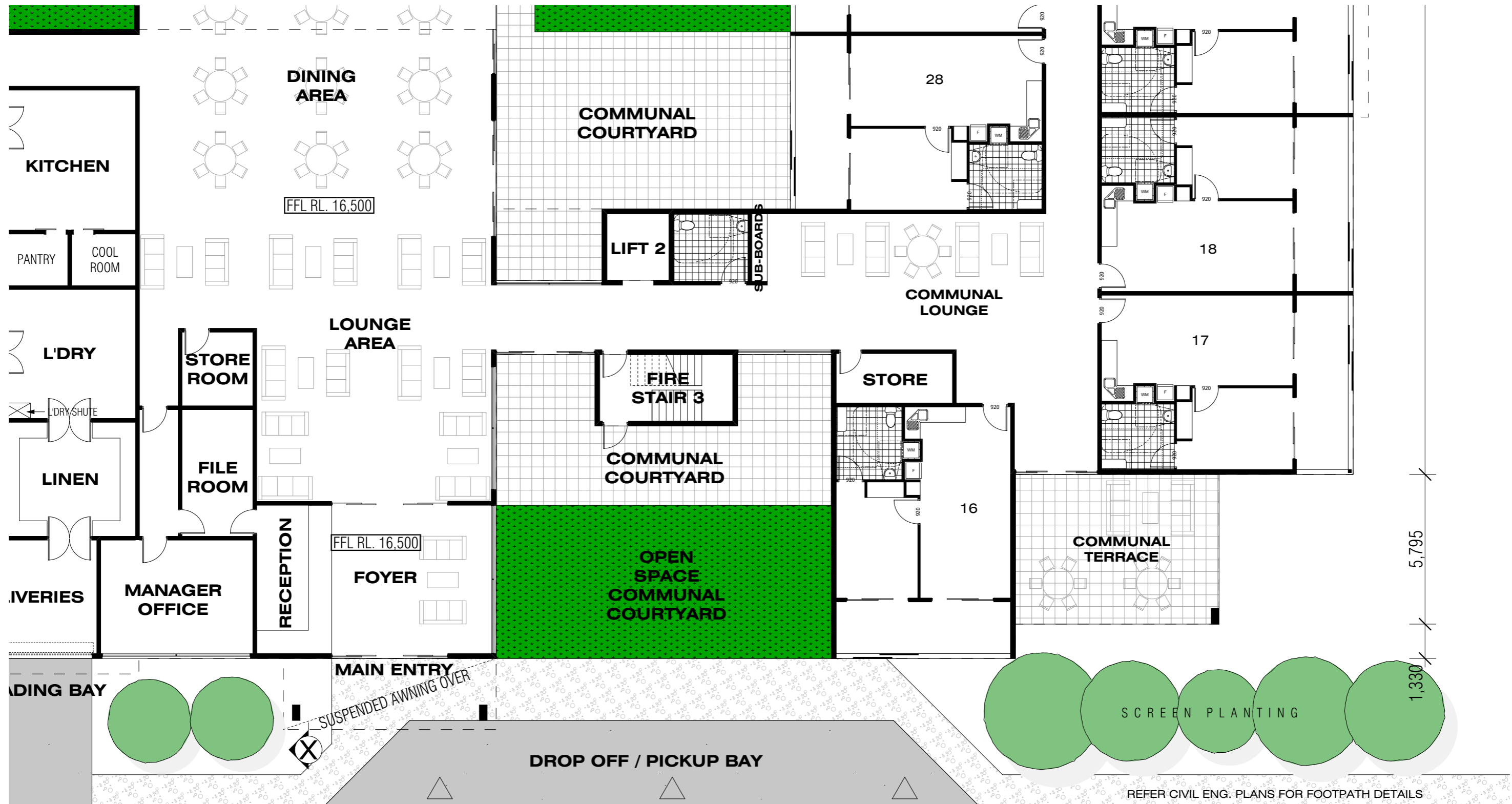
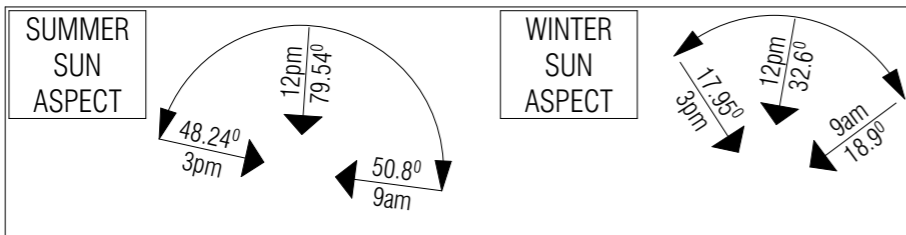
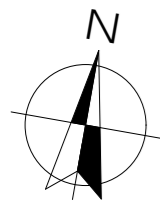
09 / 07 / 20
A

DWG No.

030

SHEET
JOB No.

030 / 51
TOC1901



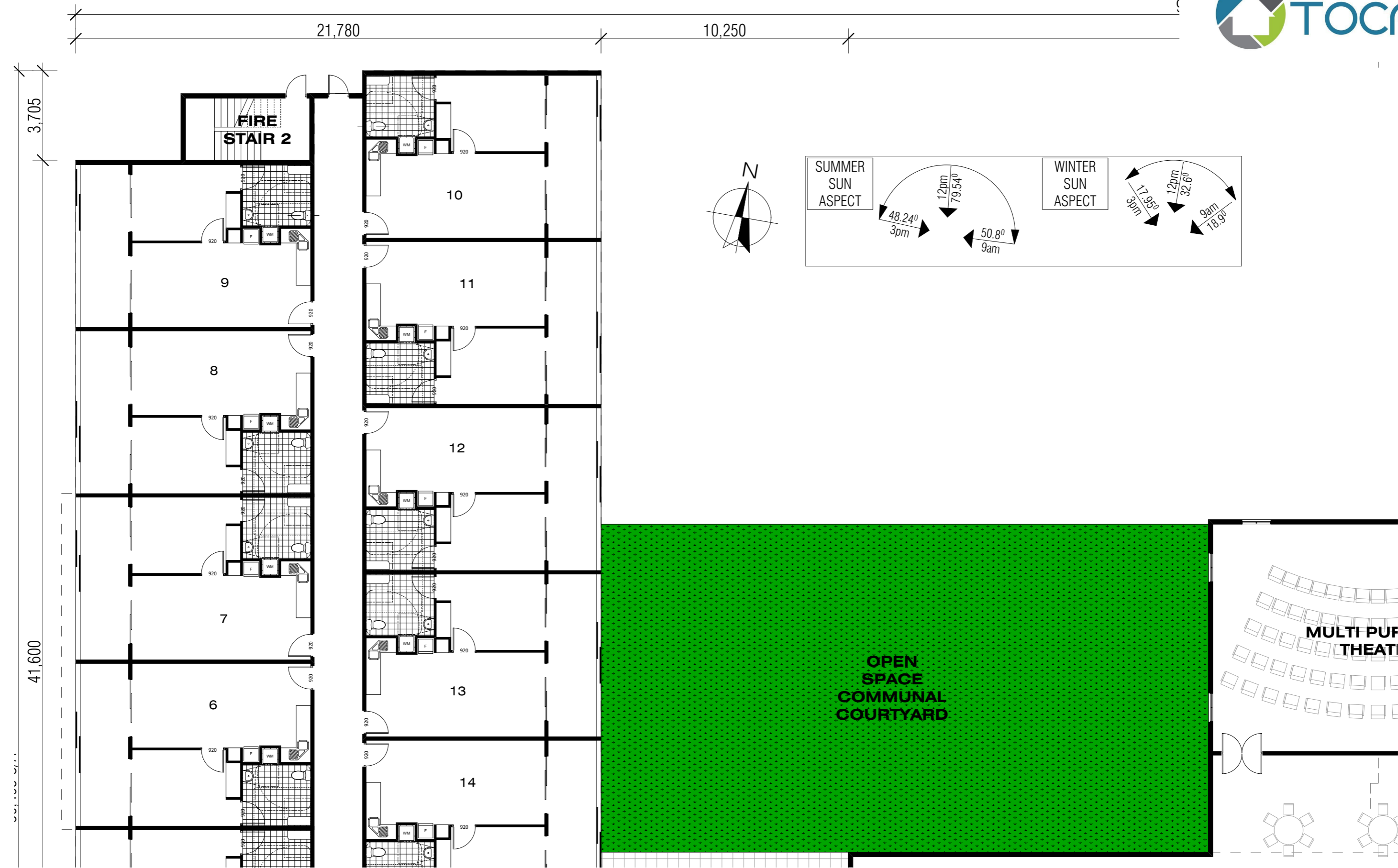
PART LEVEL 1 PLAN

SCALE 1:150

REFER CIVIL ENG. PLANS FOR FOOTPATH DETAILS

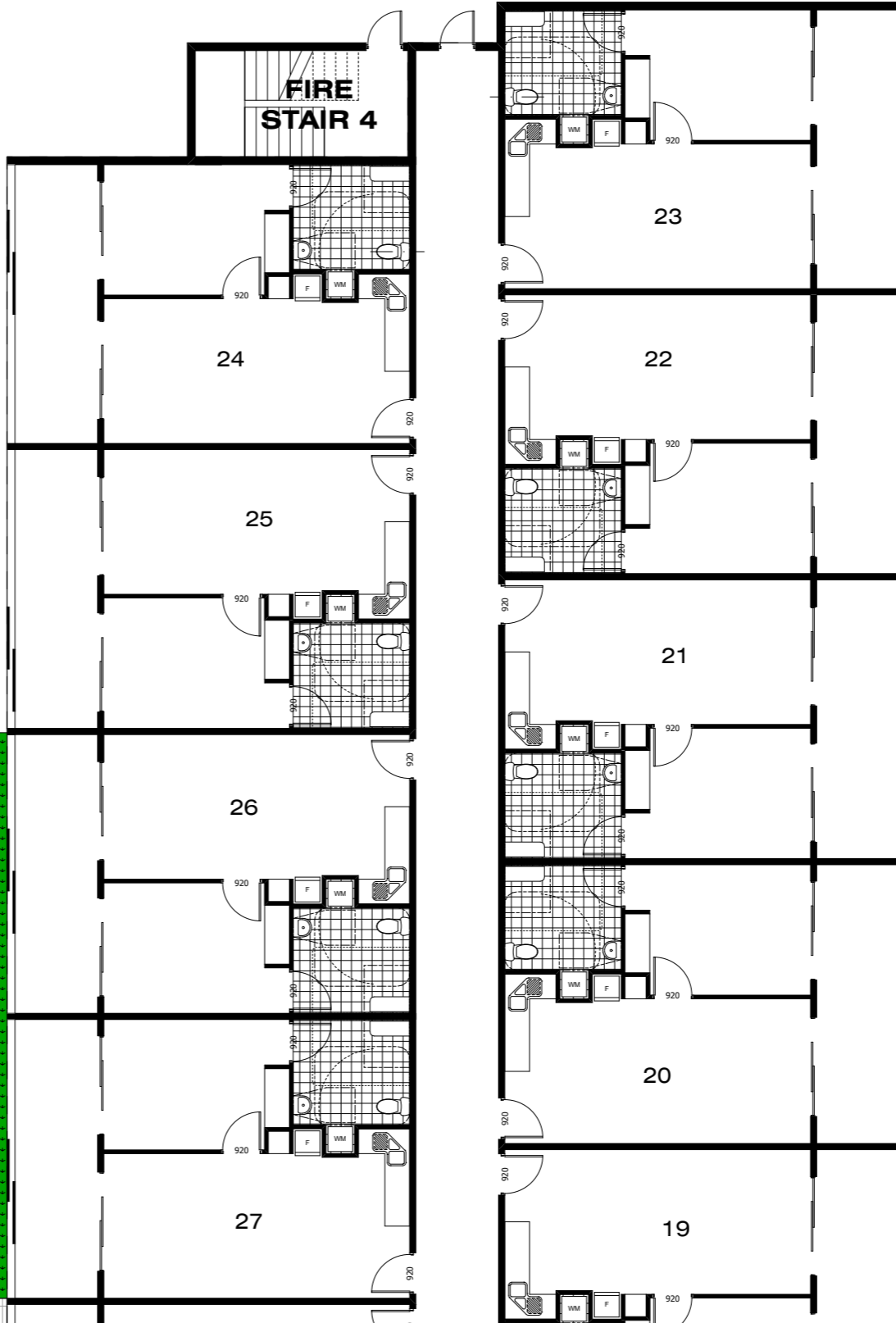
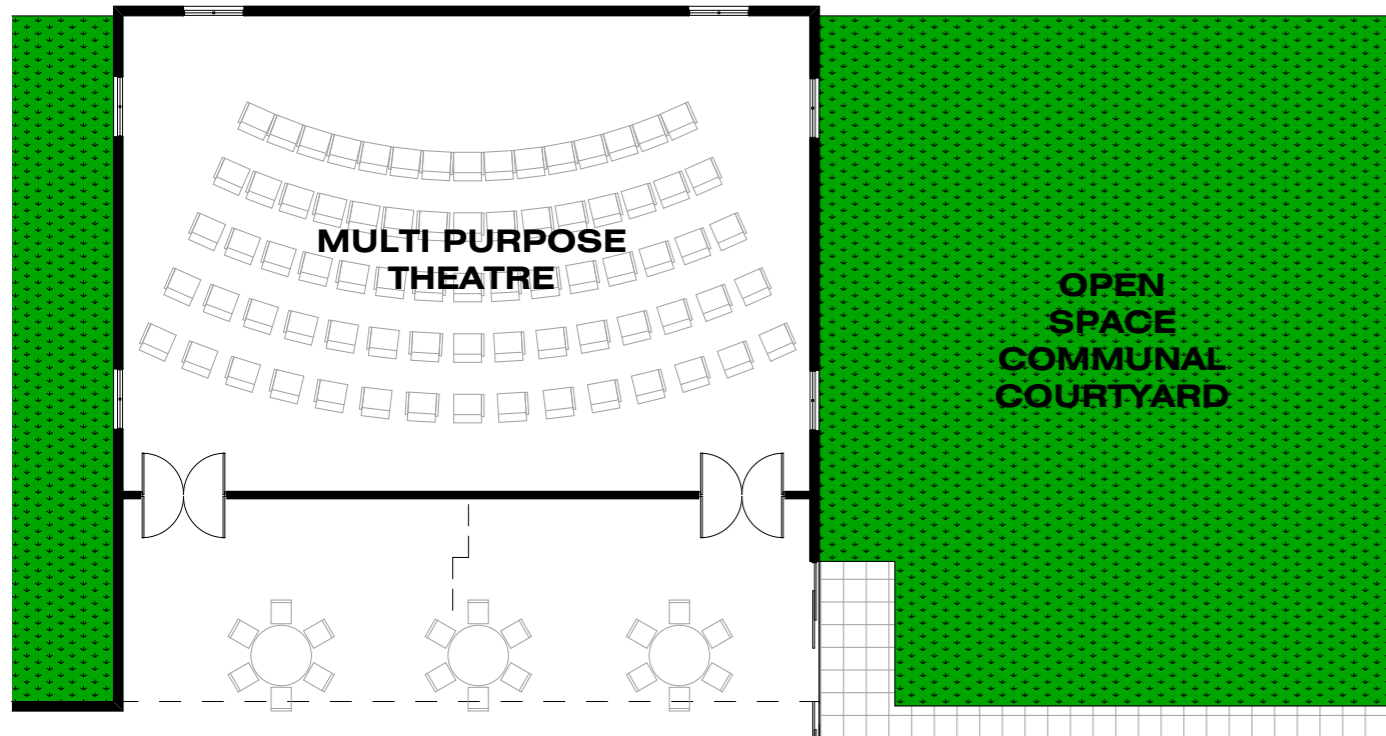
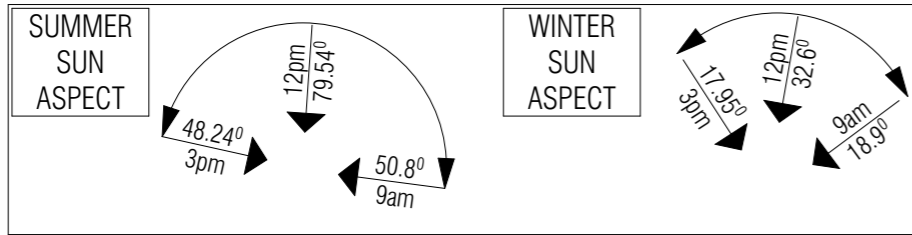
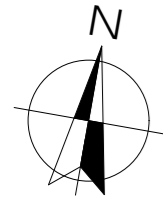
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DA	26/02/20	
ISSUE	DATE	AMENDMENT

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PART LEVEL 1 PLAN
SCALE 1:150

A	09/07/20	BUILDING FOOTPRINT REDUCED BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY UNIT No:s REDUCED FROM 86 TO 63 BASEMENT CARPARK REMOVED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT



48,495

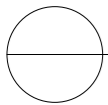
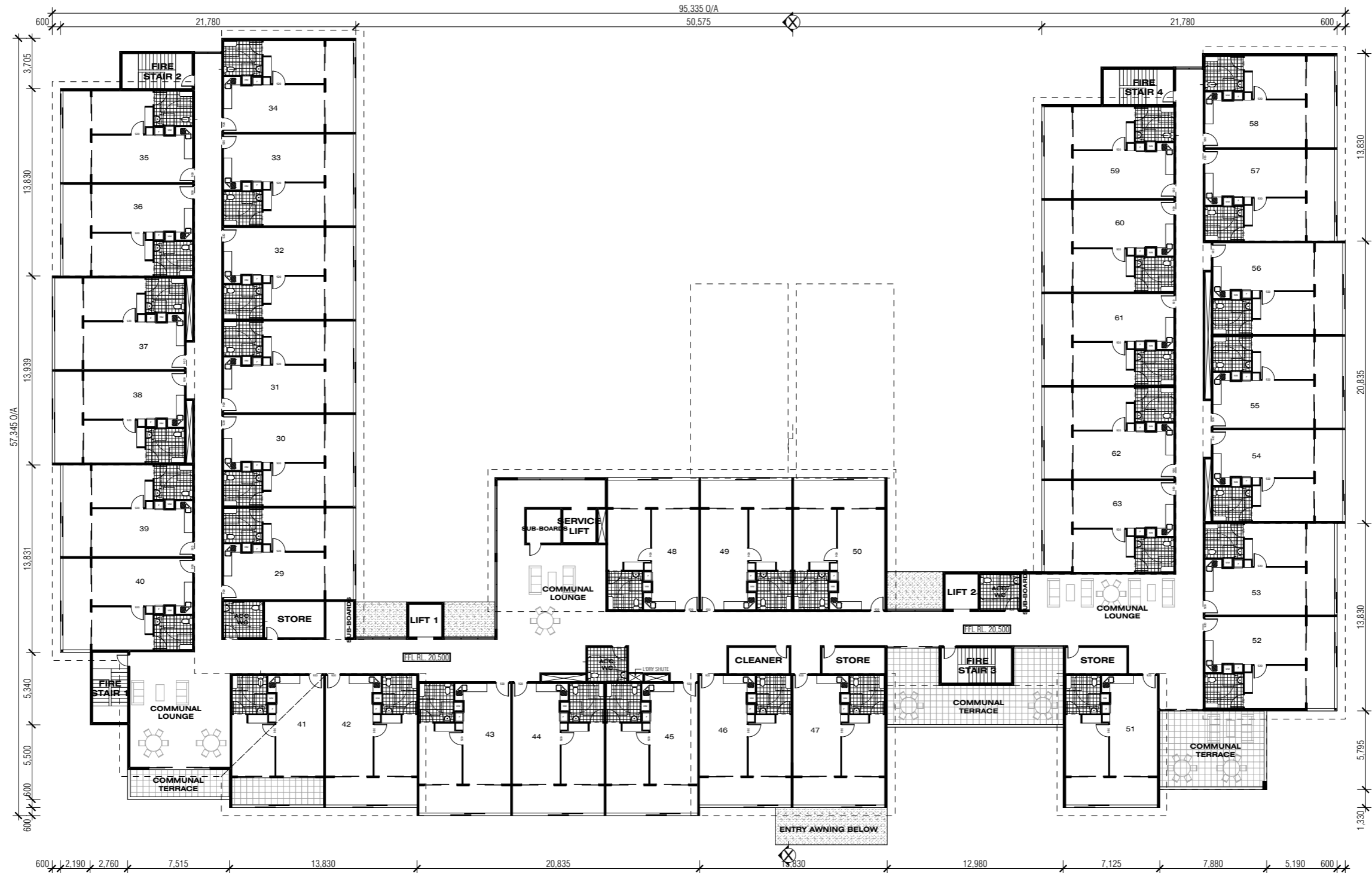
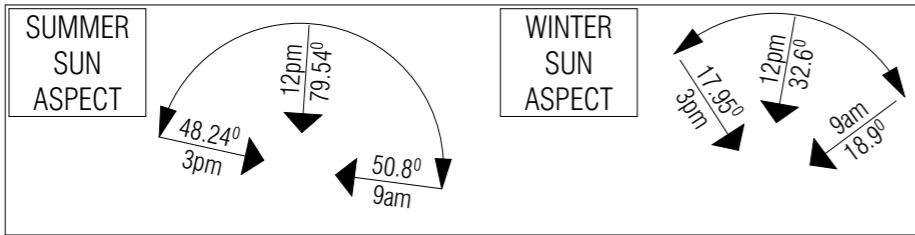
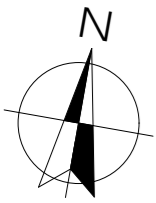
PART LEVEL 1 PLAN

SCALE 1:150

A 09/07/20 BUILDING FOOTPRINT REDUCED
BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY
UNIT No.'s REDUCED FROM 86 TO 63
BASEMENT CARPARK REMOVED
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LEVEL 2 FLOOR PLAN

SCALE 1 : 350

BLACKDRAFT
architectural design
blackdraft333@gmail.com
mob 0449 75 88 66 abn 53 392 045 355

PROJECT

JOHNS ROAD RETIREMENT VILLAGE

LOCATION

135 JOHNS ROAD
WADALBA

CLIENT

TOCAE
LEVEL 2 FLOOR
PLAN

DRAWING

DRAWN

MLB
AS SHOWN

SCALE

A

09/07/20

BUILDING FOOTPRINT REDUCED
BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY
UNIT No.'s REDUCED FROM 86 TO 63
BASEMENT CARPARK REMOVED
ISSUED FOR COUNCIL SUBMISSION

DA

26/02/20

ISSUE DATE AMENDMENT

ISSUE

DATE

AMENDMENT

DATE

09 / 07 / 20

ISSUE

A

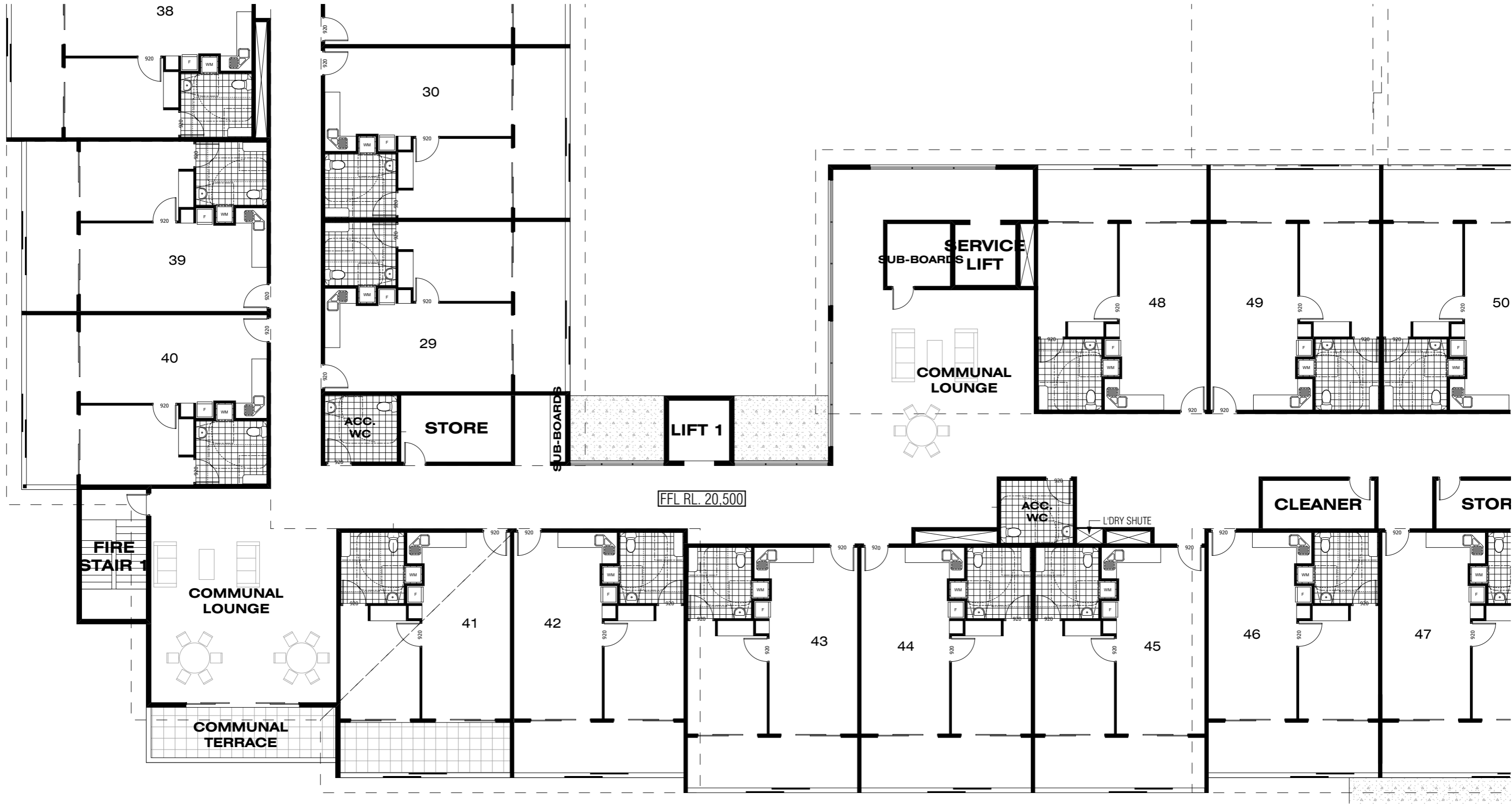
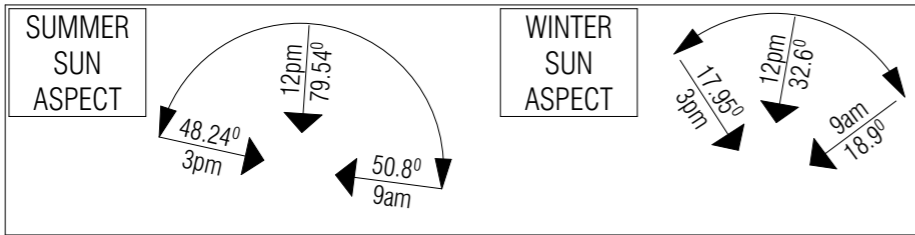
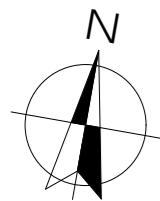
DWG No.

034

SHEET

034 / 51
JOB No.
TOC1901

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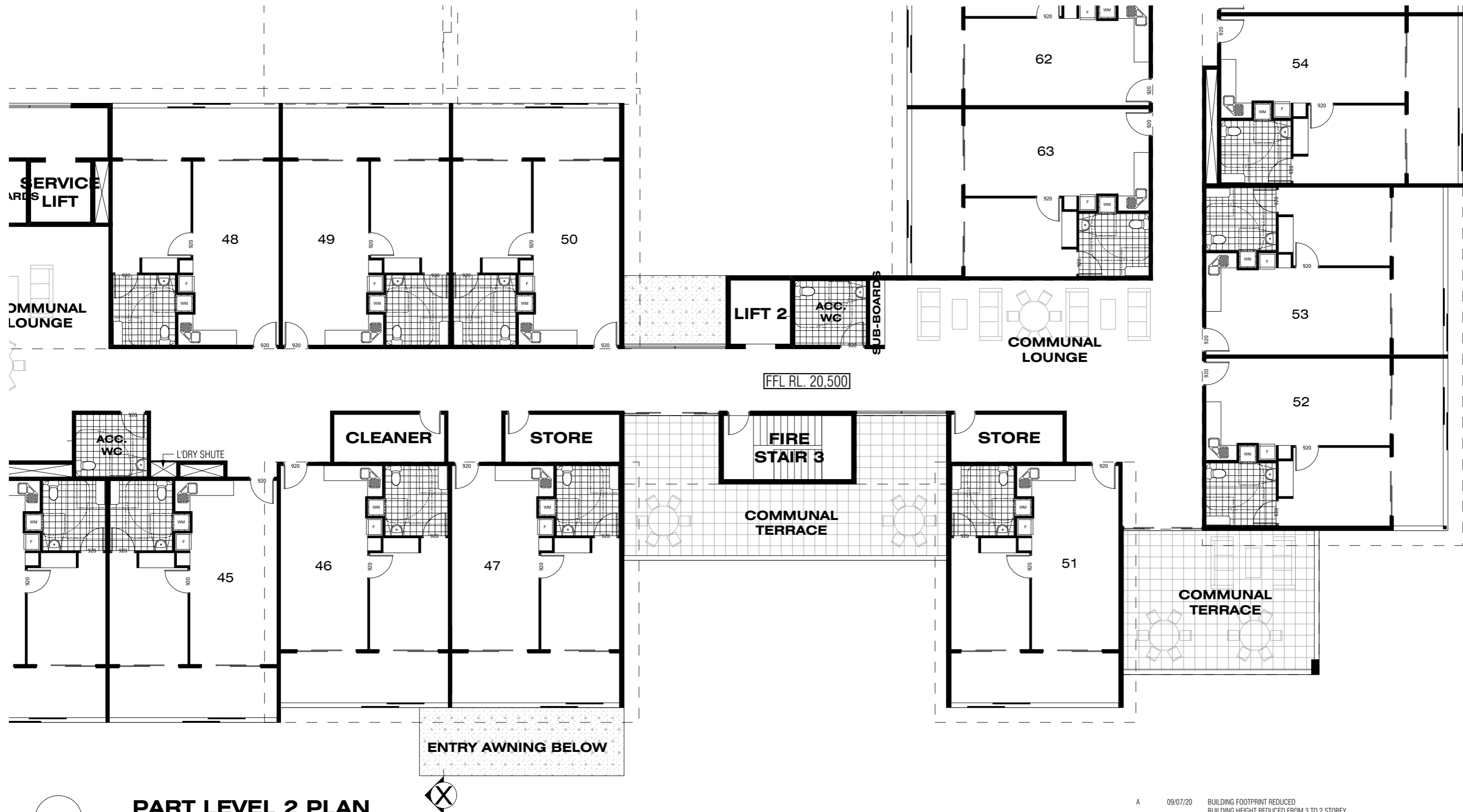
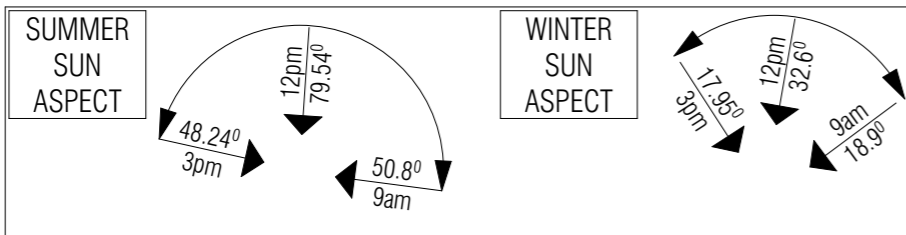
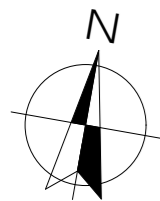


PART LEVEL 2 PLAN

SCALE 1:150

A	09/07/20	BUILDING FOOTPRINT REDUCED BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY UNIT No.'s REDUCED FROM 86 TO 63 BASEMENT CARPARK REMOVED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT

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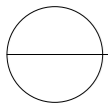
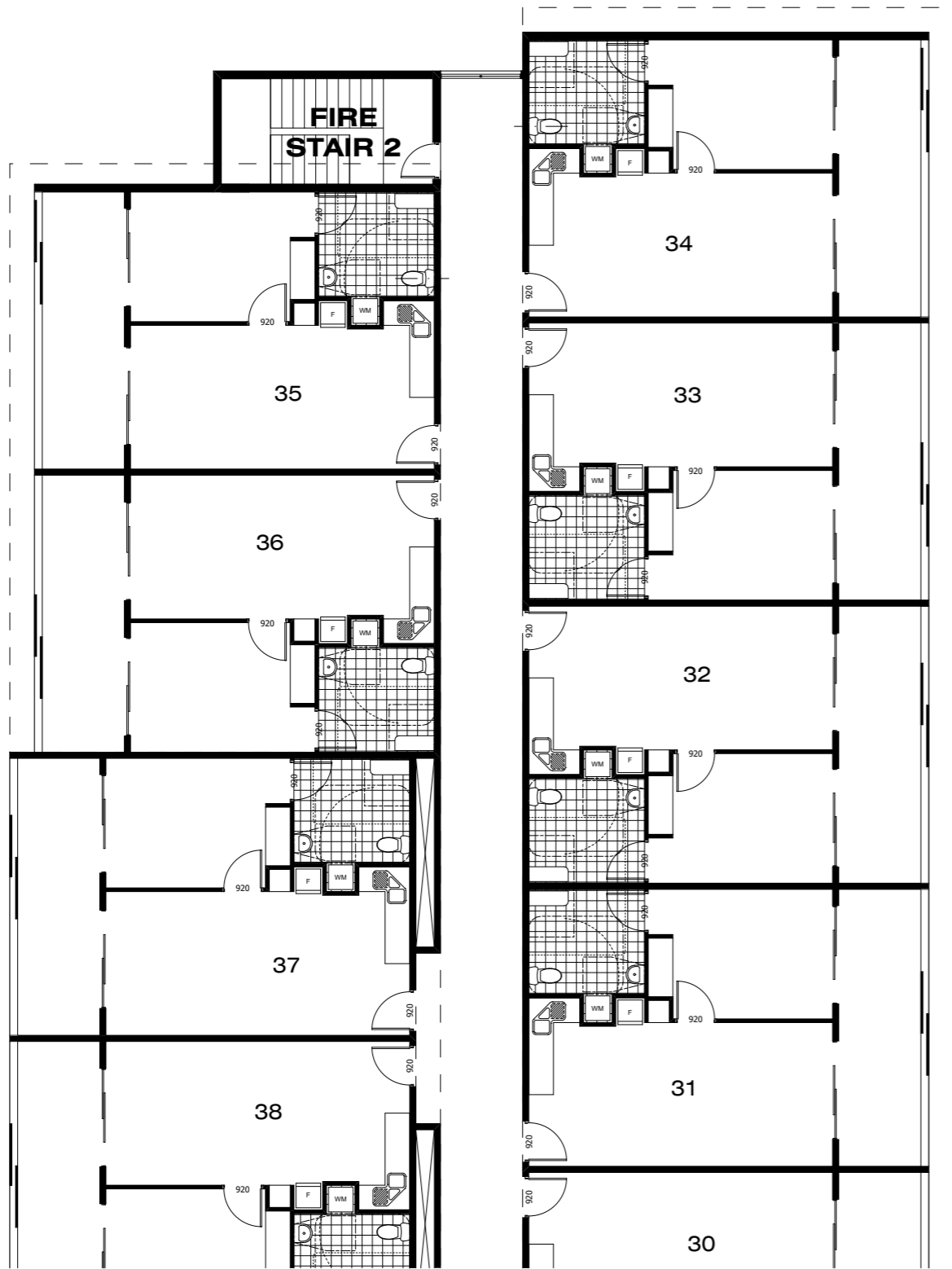
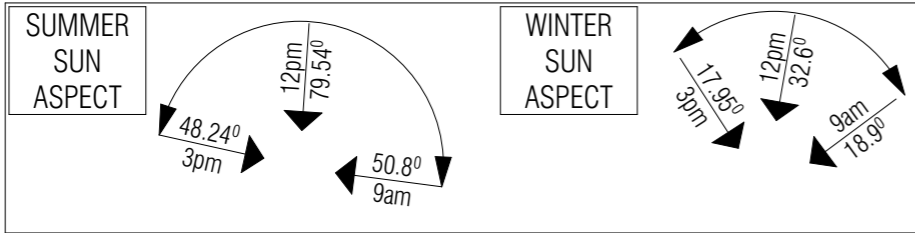
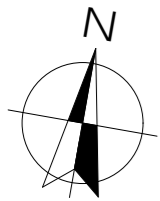


PART LEVEL 2 PLAN

SCALE 1:150

A	09/07/20	BUILDING FOOTPRINT REDUCED BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY UNIT No.'s REDUCED FROM 86 TO 63 BASEMENT CARPARK REMOVED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT

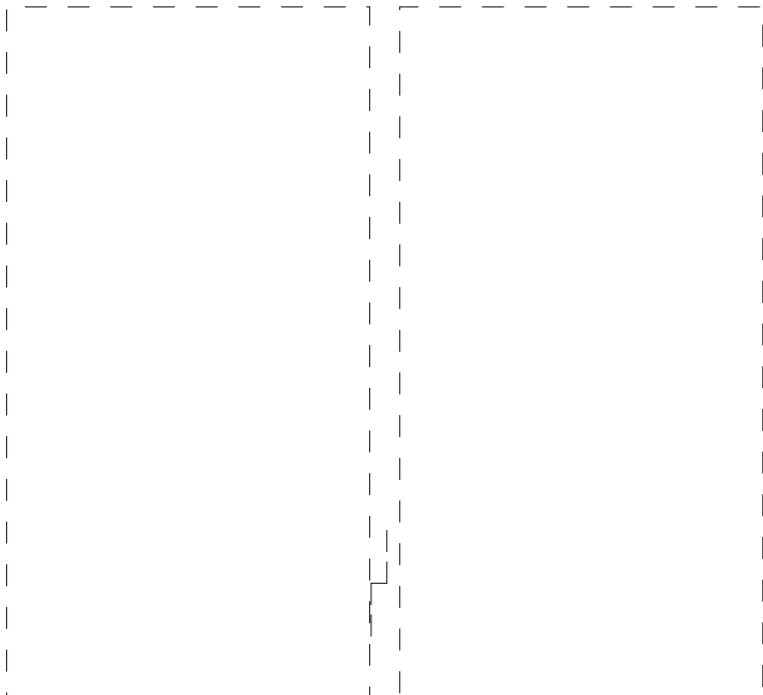
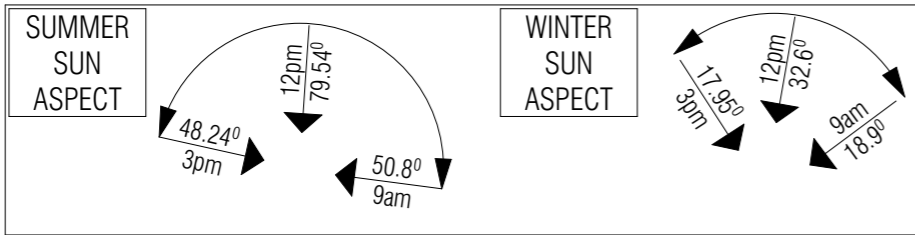
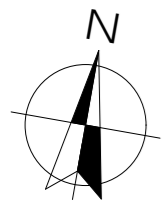
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PART LEVEL 2 PLAN

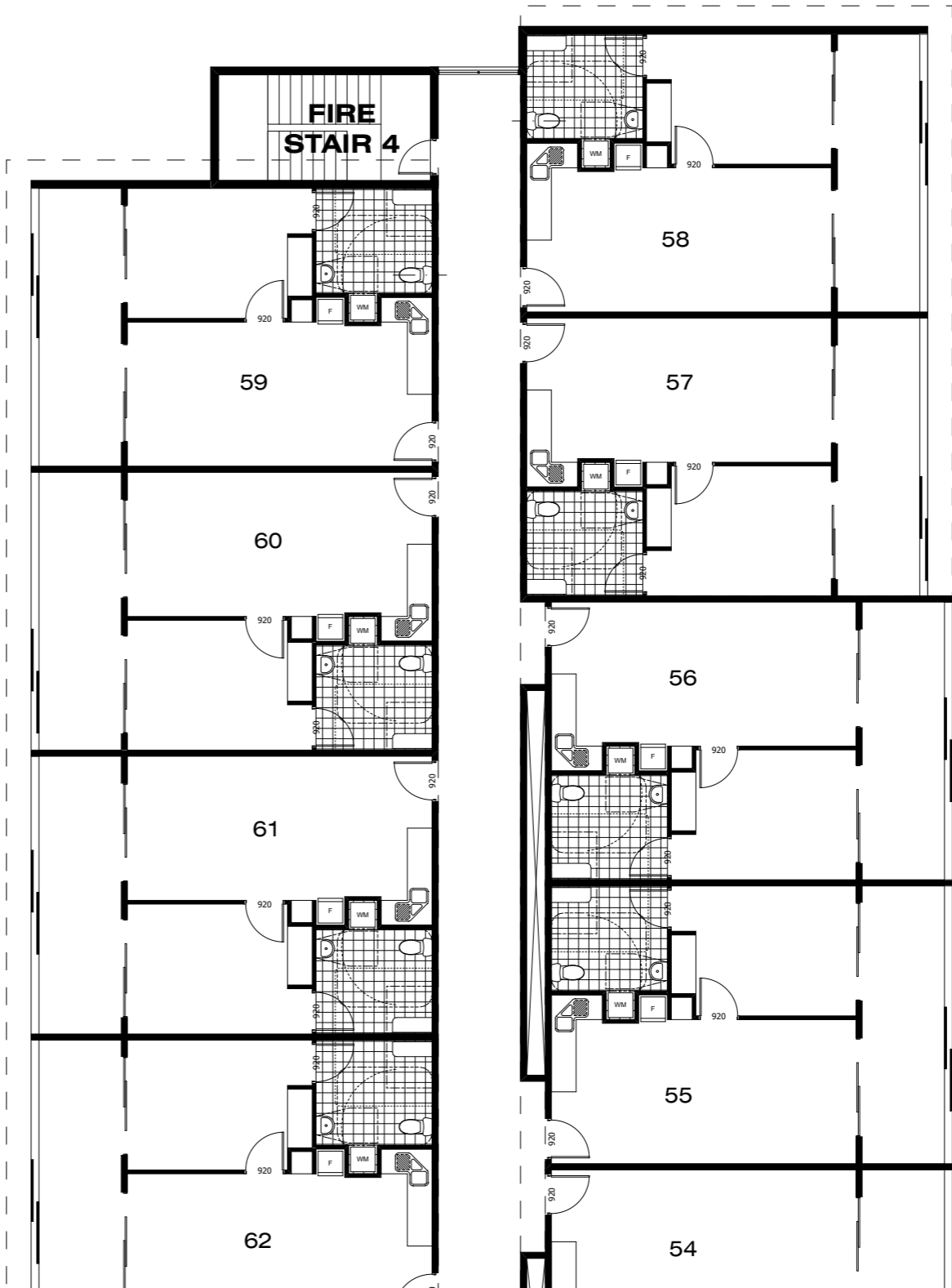
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DA	26/02/20	
ISSUE	DATE	AMENDMENT



PART LEVEL 2 PLAN

SCALE 1:150



A 09/07/20 BUILDING FOOTPRINT REDUCED
BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY
UNIT No.'s REDUCED FROM 86 TO 63
BASEMENT CARPARK REMOVED
ISSUED FOR COUNCIL SUBMISSION

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ISSUE DATE AMENDMENT

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PROJECT
LOCATION

CLIENT

DRAWING

DRAWN

SCALE

DATE

ISSUE

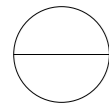
DWG No.

SHEET

JOB No.



FFL RL. 20,500



UNIT PLAN TYP.

SCALE 1:100

BLACKDRAFT
architectural design
blackdraft333@gmail.com
mob 0449 75 88 66 abn 53 392 045 355

PROJECT
JOHNS ROAD RETIREMENT VILLAGE
LOCATION
**135 JOHNS ROAD
WADALBA**

CLIENT
TOCAE
DRAWING
**TYP. UNIT FLOOR
PLAN**

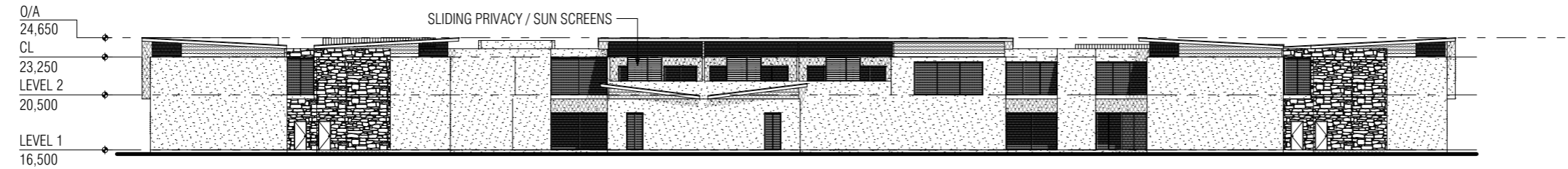
DRAWN
MLB
SCALE
AS SHOWN

DATE
09 / 07 / 20
ISSUE
A

DWG No.
039

SHEET
039 / 51
JOB No.
TOC1901

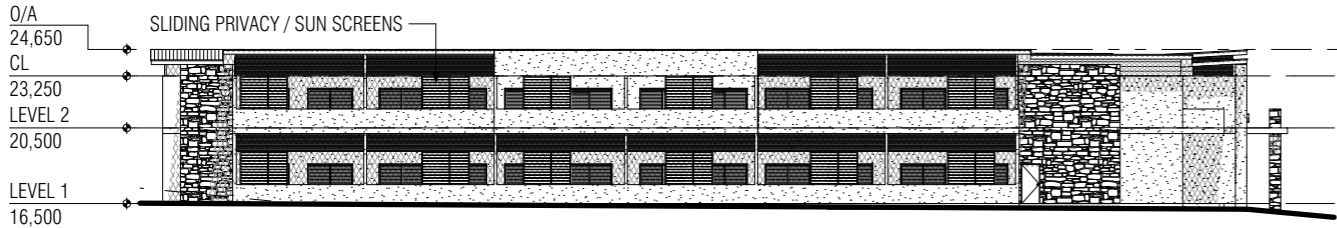
A 09/07/20 BUILDING FOOTPRINT REDUCED
BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY
UNIT No.'s REDUCED FROM 86 TO 63
BASEMENT CARPARK REMOVED
ISSUED FOR COUNCIL SUBMISSION
DA 26/02/20
ISSUE DATE AMENDMENT



NORTH ELEVATION

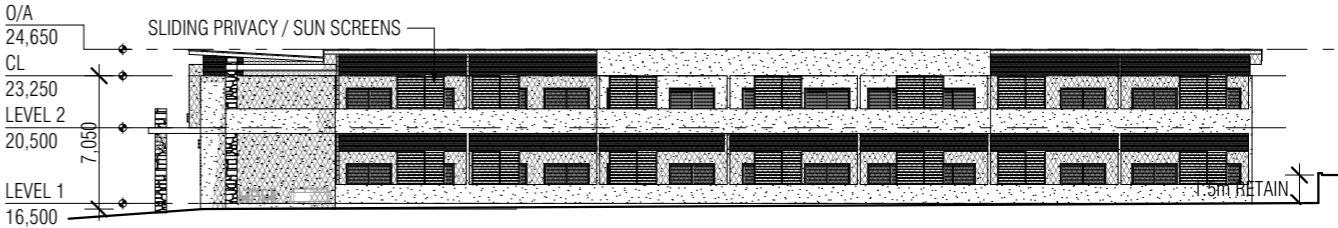
SCALE 1 : 400

NOTE: SHADOWS DO NOT REPRESENT ACTUAL SUN POSITION, THEY ARE COSMETIC ONLY.



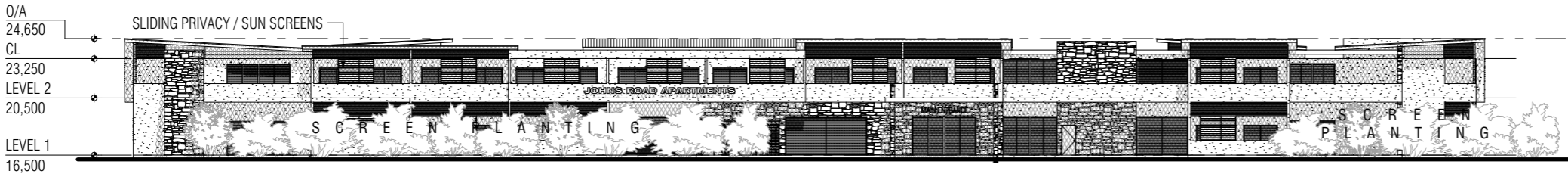
WEST ELEVATION

SCALE 1 : 400



EAST ELEVATION

SCALE 1 : 400



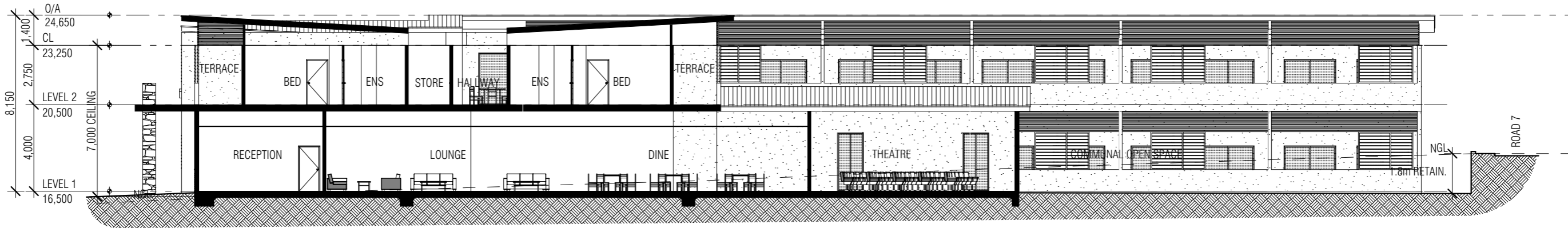
SOUTH ELEVATION

SCALE 1 : 400

MATERIAL & FINISHES

EXTERNAL

WALLS	RENDERED & PAINTED AFS WALL SYSTEM
WALL FEATURE SECTIONS	STONE VENEER CLADDING
COLUMNS	PAINTED AFS & STONE VENEER AFS
SHADE DEVICES	CONC. WINDOW HOODS & ALUM. BATTEN SCREENS
ROOFS	TRIMDECK ROOF SHEETING METAL FASCIAS
WINDOWS	ALUM. FRAMED
DOORS	PAINTED SOLID CORE
GARAGE DOOR	METAL SECURITY GRILL

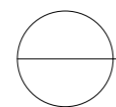
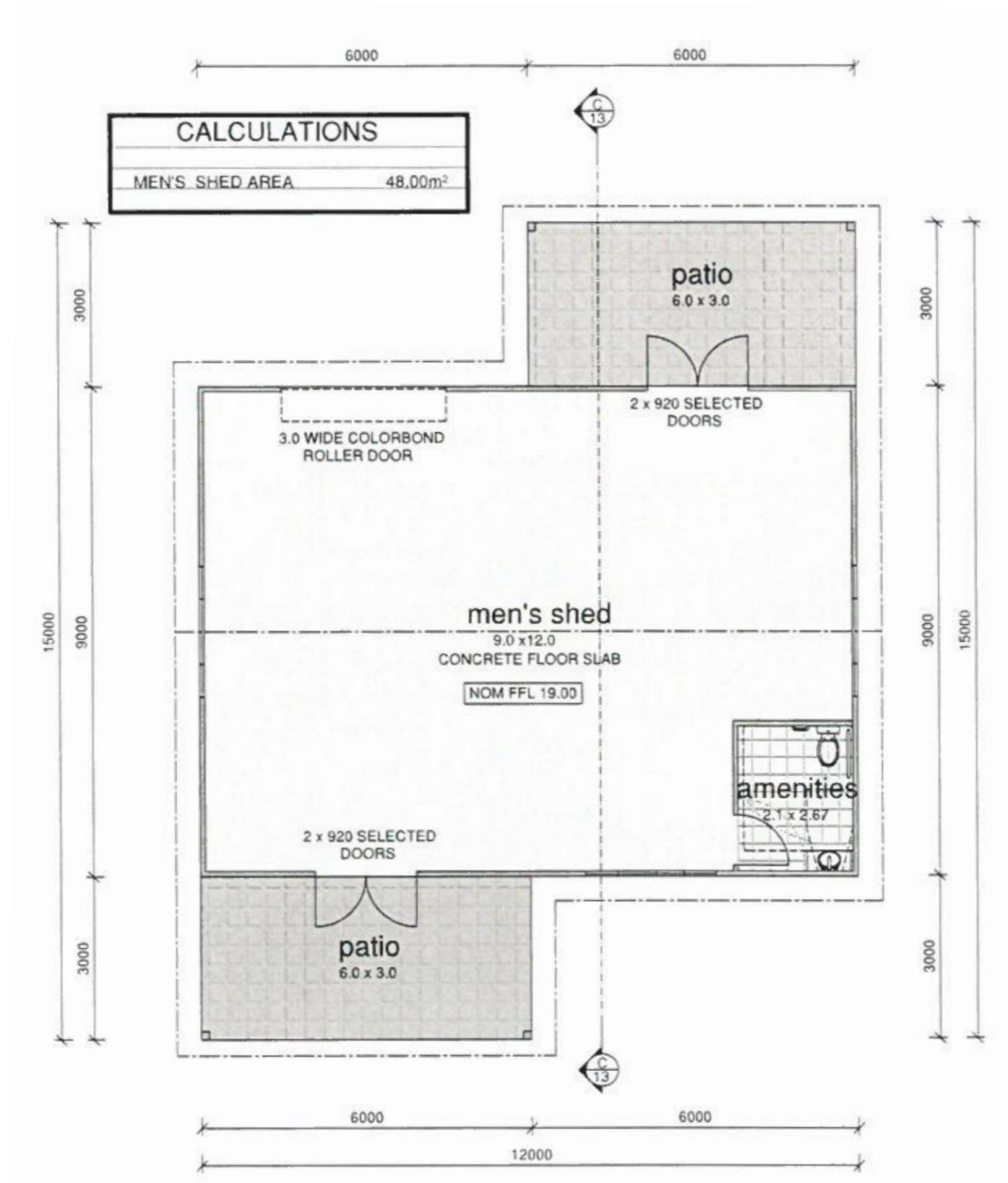
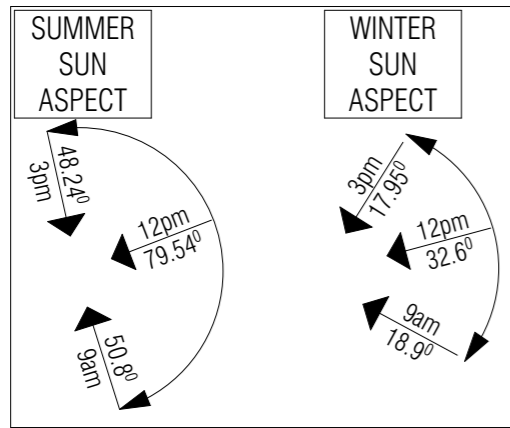
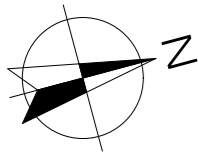


SECTION X - X

SCALE 1 : 200

A	09/07/20	BUILDING FOOTPRINT REDUCED BUILDING HEIGHT REDUCED FROM 3 TO 2 STOREY UNIT No.'s REDUCED FROM 86 TO 63 BASEMENT CARPARK REMOVED ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT

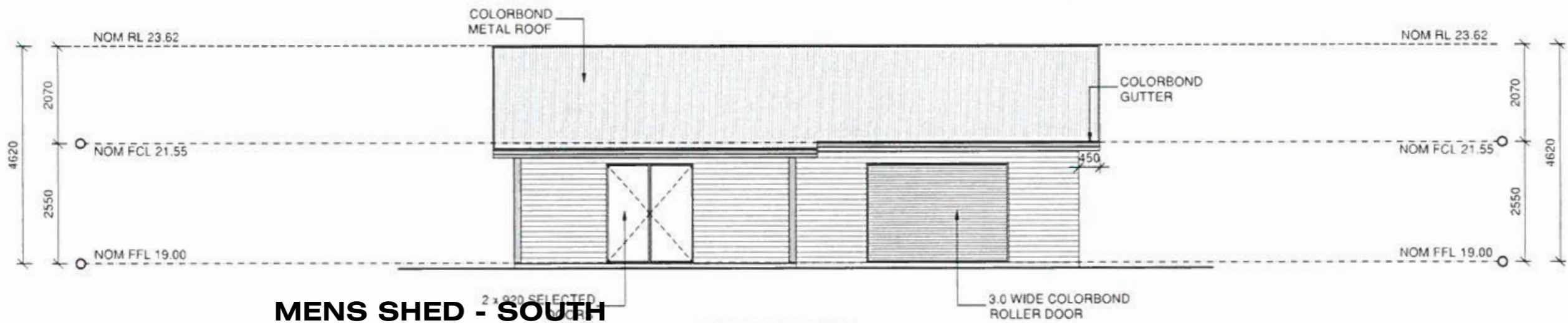
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MENS SHED - FLOOR PLAN

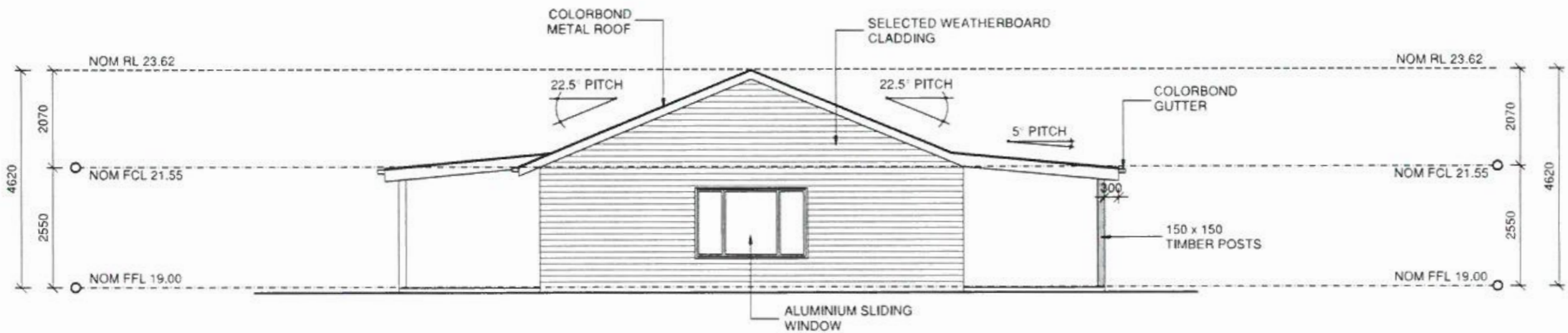
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DA	26/02/20	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT
BLACKDRAFT architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 043 353		
PROJECT	JOHNS ROAD RETIREMENT VILLAGE	
LOCATION	135 JOHNS ROAD WADALBA	
CLIENT	TOCAE GROUP	
DRAWING	MENS SHED PLAN	
SCALE	AS SHOWN	DRAWN MLB
DATE	26 / 02 / 20	ISSUE DA
DWG No.	041	
SHEET	041 / 51	JOB No. TOC 1901



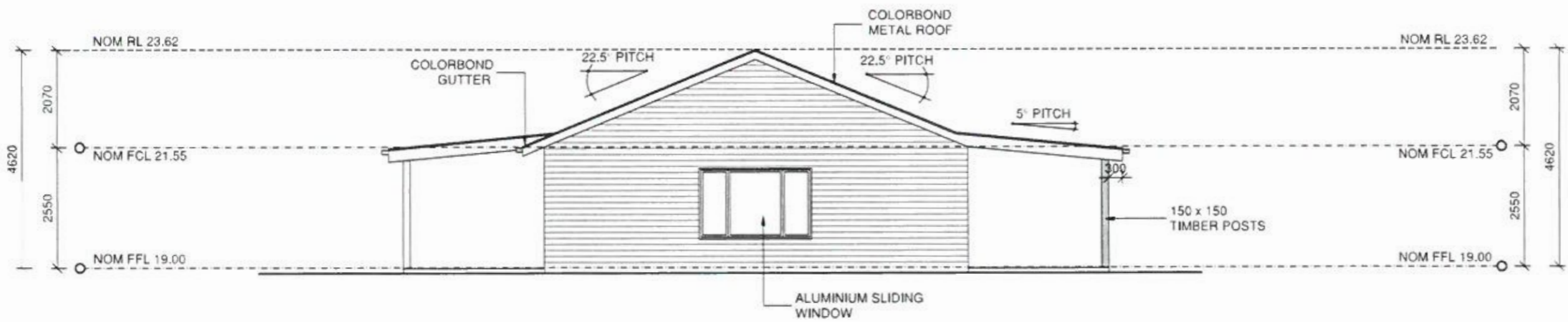
MENS SHED - SOUTH ELEVATION

SCALE 1 : 100



MENS SHED - EAST ELEVATION

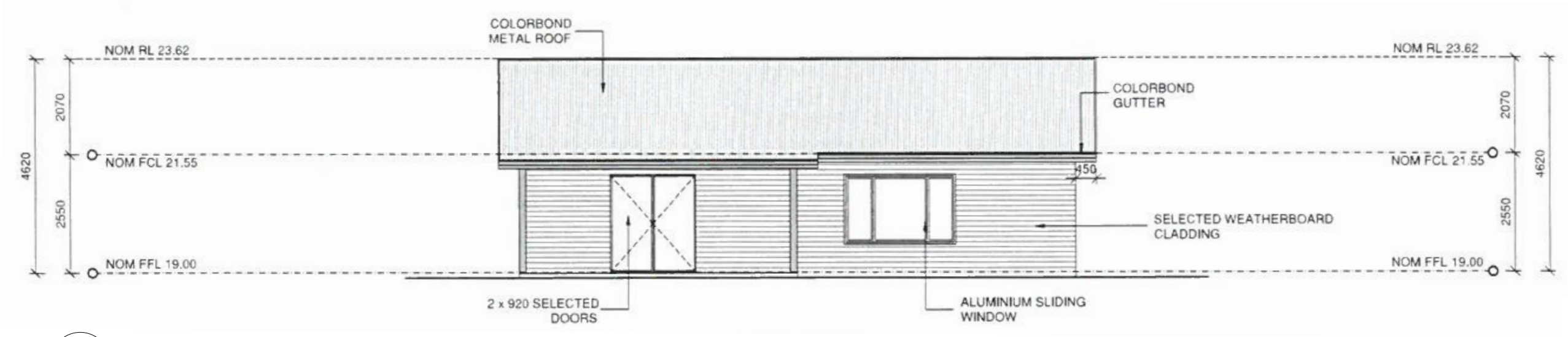
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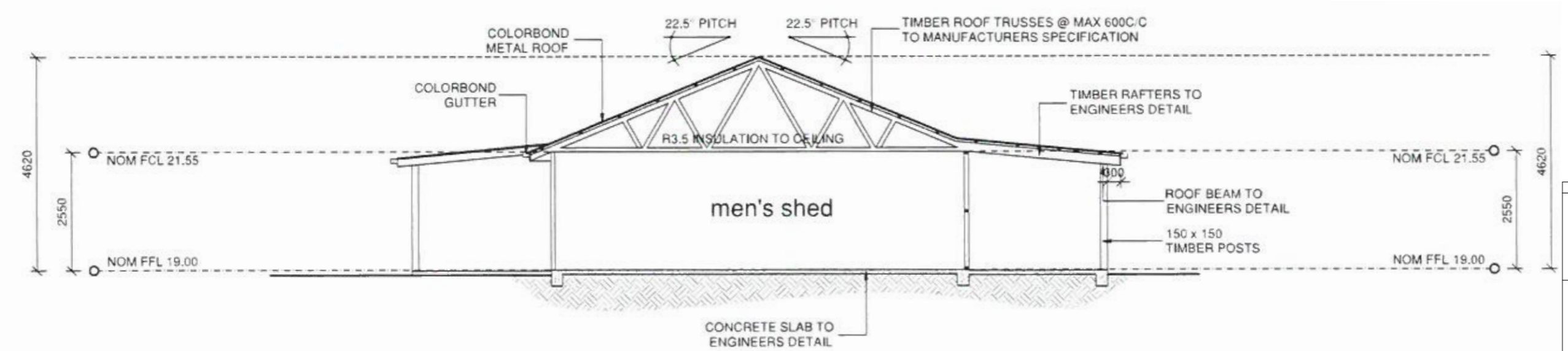
MENS SHED - WEST ELEVATION

SCALE 1 : 100

DA	26/02/20	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT
BLACKDRAFT architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355		
PROJECT	JOHNS ROAD RETIREMENT VILLAGE	
LOCATION	135 JOHNS ROAD WADALBA	
CLIENT	TOCAE GROUP	
DRAWING	MENS SHED ELEVATIONS	
SCALE	AS SHOWN	DRAWN MLB
DATE	26 / 02 / 20	ISSUE DA
DWG No.	042	
SHEET	042 / 51	JOB No. TOC 1901



MENS SHED - EAST ELEVATION
SCALE 1:100



MENS SHED - SECTION
SCALE 1:100

DA	26/02/20	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT
BLACKDRAFT architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355		
PROJECT	JOHNS ROAD RETIREMENT VILLAGE	
LOCATION	135 JOHNS ROAD WADALBA	
CLIENT	TOCAE GROUP	
DRAWING	MENS SHED ELEV & SECTION	
SCALE	AS SHOWN	DRAWN MLB
DATE	26 / 02 / 20	ISSUE DA
DWG No.	043	
SHEET	043 / 51	JOB No. TOC 1901

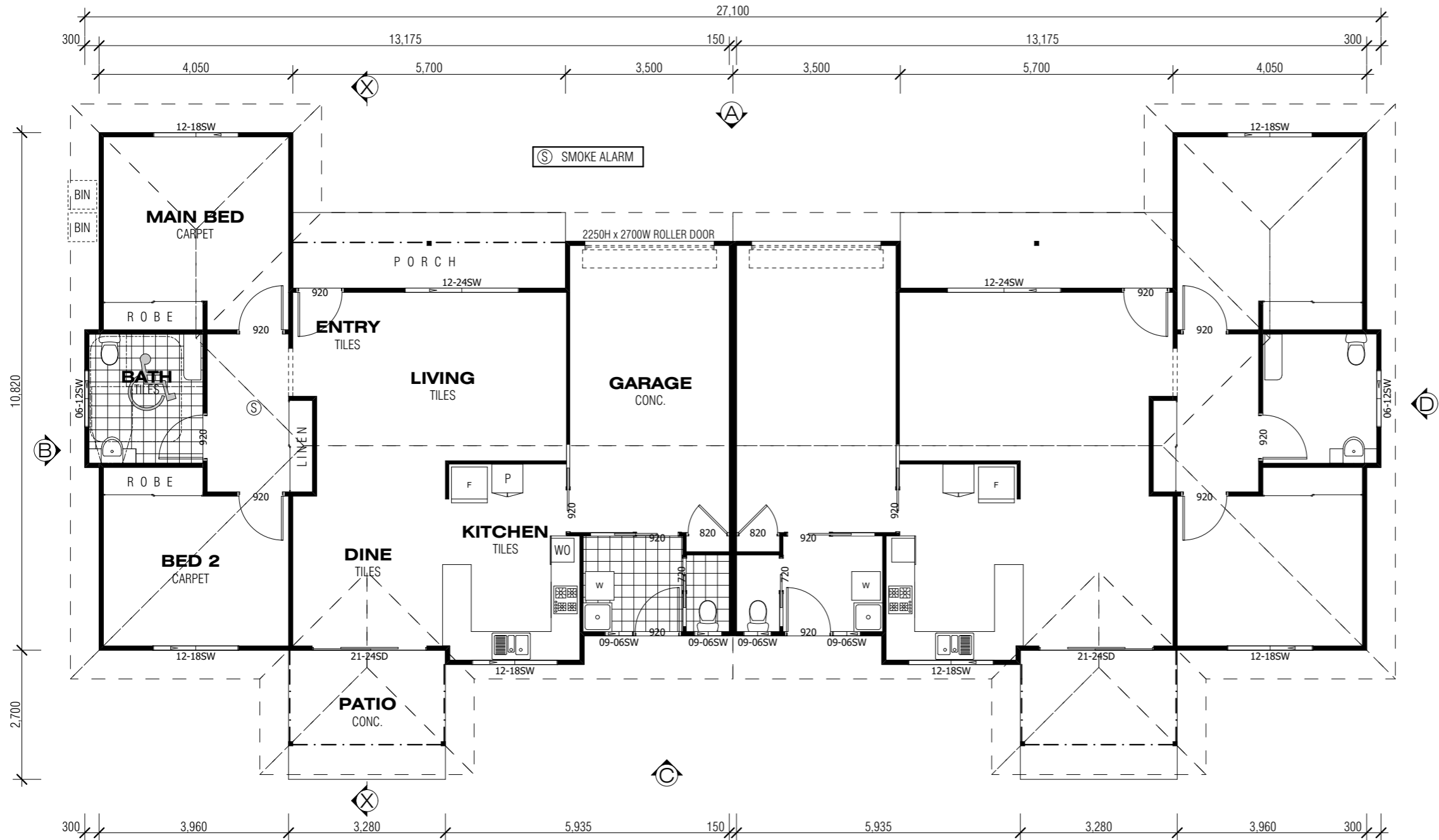
AREA CALCULATIONS

VILLA TYPE 2

LIVING	=	96.6	m ²
GARAGE	=	20.8	m ²
PATIO	=	8.9	m ²
PORCH	=	9.0	m ²

NOTE: FINAL LOCATION OF BINS, WATER TANK AND CLOTHESLINE TO BE DETERMINED ON SITE

NOTE: HARDWIRED SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3786



FLOOR PLAN
SCALE 1 : 100

NOTES:

These drawings shall be read in conjunction with all structural & other consultants drawings & specifications and with such other written instruction as may be issued during the course of the contract.

Any discrepancies shall be referred to the building designer for decision before proceeding with the work.

Figured dimensions to be taken in preference to scaling from drawings.

During construction the building shall be maintained in a stable condition & no part shall be overstressed.

All workmanship shall be in accordance with the requirements of the SAA codes & by-laws & ordinances of the relevant building authority.

Dimensions are in millimetres. R.L's are in metres to A.H.D

All dimensions and levels shall be checked by the builder prior to the commencement of the works.

The Waterproofing of all work is the builders responsibility.

All timber framing sizes & spans to be in accordance with SAA timber framing code AS 1684.

All bracing of roof & wall framing to satisfy wind speed design category in accordance with NCC & AS 4055 to engineers certification..

All reinforced concrete shall be in accordance with engineers details.

Builder/developer to maintain erosion control in accordance with the clean waters act 1970.

Termite treatments in accordance with AS 3660 & AS 3660 part 1.

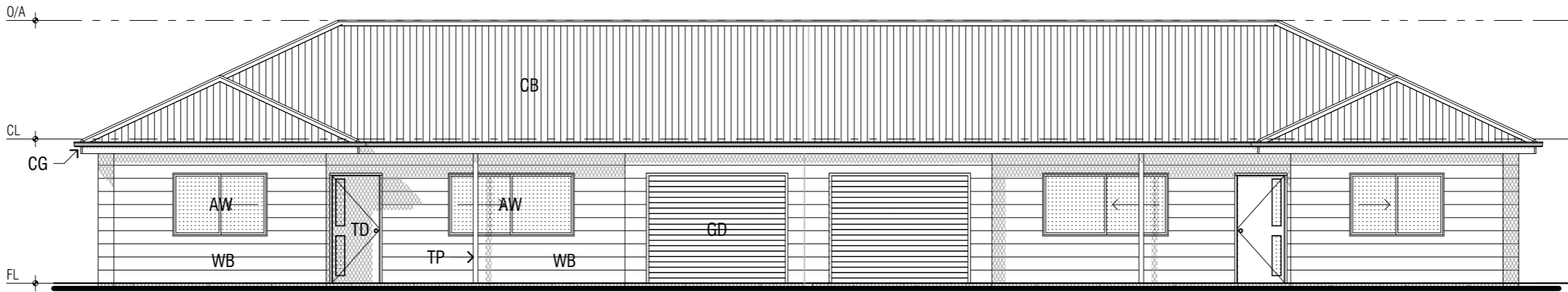
Builder to verify location of all services & vegetation prior to commencement of works.

All opening sizes to be confirmed on site prior to ordering of windows & doors

All Structural Steel is to be protected against corrosion in accordance with Structural Engineers recommendations.

NOTE: WALL AND CEILING INSULATION IN ACCORDANCE WITH BASIX REQUIREMENTS.

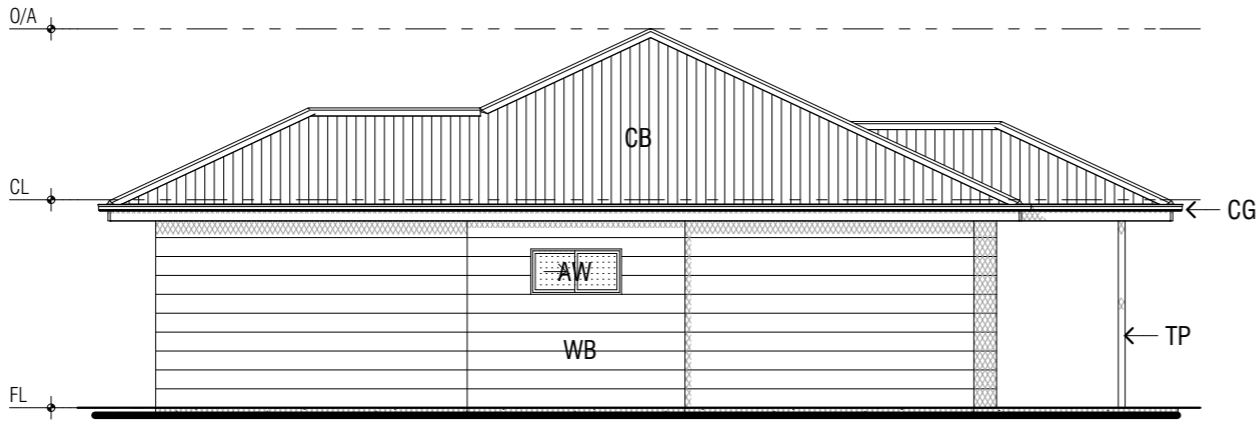
NOTE: THESE PLANS HAVE BEEN COMPLETED WITH INFORMATION PROVIDED BY THE CLIENT. BLACKDRAFT TAKES NO RESPONSIBILITY FOR DESCREANCIES DUE TO INCORRECT INFORMATION.



ELEVATION A
SCALE 1 : 100

NOTE: THRESHOLD RAMPS TO BE PROVIDED AT ALL EXTERNAL ENTRANCES & TO BE IN ACCORDANCE WITH AS 1428.1 - 2009

NOTE: SHADOWS DO NOT REPRESENT ACTUAL SUN POSITION, THEY ARE COSMETIC ONLY.



ELEVATION B
SCALE 1 : 100

EXTERNAL FINISHES LEGEND

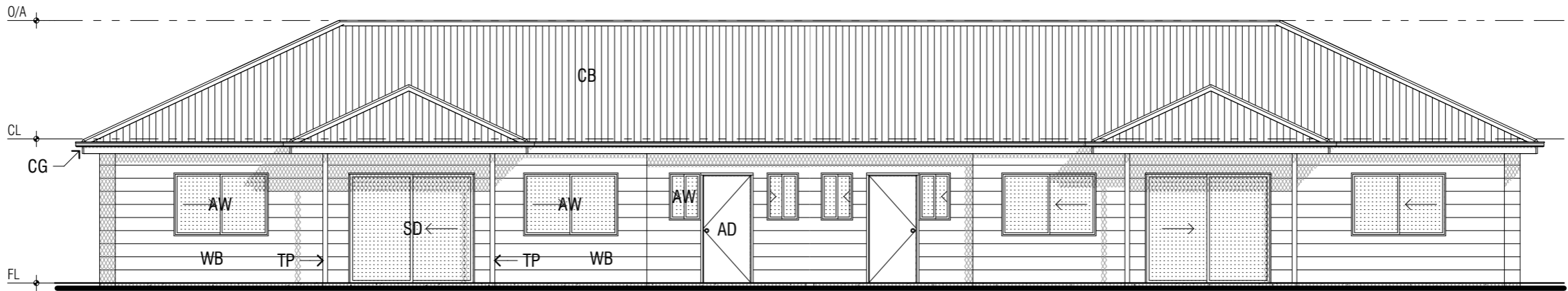
- AD - SOLID CORE ACCESS DOOR
- AW - ALUMINIUM FRAMED WINDOWS
- CB - COLORBOND 'CUSTOM ORB ROOF SHEETING
- CG - COLORBOND FASCIA & QUAD GUTTERING
- DP - PVC DOWNPIPES
- SD - ALUMINIUM FRAMED SLIDING DOORS
- GD - GARAGE ROLLER DOORS
- TP - 90sq. TIMBER POSTS
- RF - RENDERED BOARD WALL CLADDING
- TD - SOLID CORE TIMBER FRONT DOOR
- WB - SCYON 'STRIA' WEATHERBOARD CLADDING

EXTERNAL COLOURS

- EXTERNAL WALLS MILTON MOON
- EXTERNAL WALLS WESTERN MYALL
- ROOF FASCIA GUTTERS WOODLAND GREY

A	09/07/20	DUAL VILLA TYPE ADDED
DA	26/02/20	DA ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT

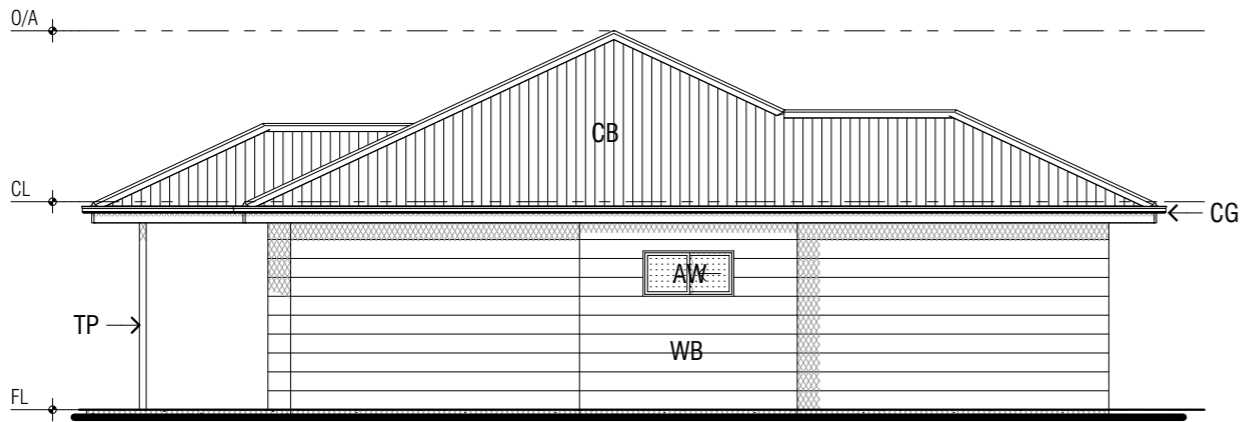
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ELEVATION C
SCALE 1 : 100

NOTE: SHADOWS DO NOT REPRESENT ACTUAL SUN POSITION, THEY ARE COSMETIC ONLY.

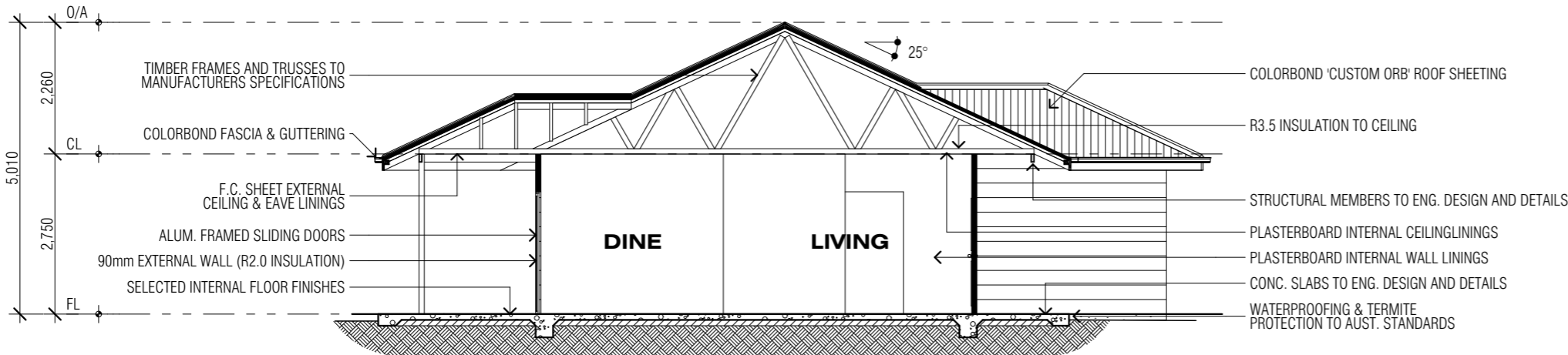
NOTE: THRESHOLD RAMPS TO BE PROVIDED AT ALL EXTERNAL ENTRANCES & TO BE IN ACCORDANCE WITH AS 1428.1 - 2009



ELEVATION D
SCALE 1 : 100

EXTERNAL FINISHES LEGEND

- AD - SOLID CORE ACCESS DOOR
- AW - ALUMINIUM FRAMED WINDOWS
- CB - COLORBOND 'CUSTOM ORB' ROOF SHEETING
- CG - COLORBOND FASCIA & QUAD GUTTERING
- DP - PVC DOWNPIPES
- SD - ALUMINIUM FRAMED SLIDING DOORS
- GD - GARAGE ROLLER DOORS
- TP - 90sq. TIMBER POSTS
- RF - RENDERED BOARD WALL CLADDING
- TD - SOLID CORE TIMBER FRONT DOOR
- WB - SCYON 'STRIA' WEATHERBOARD CLADDING



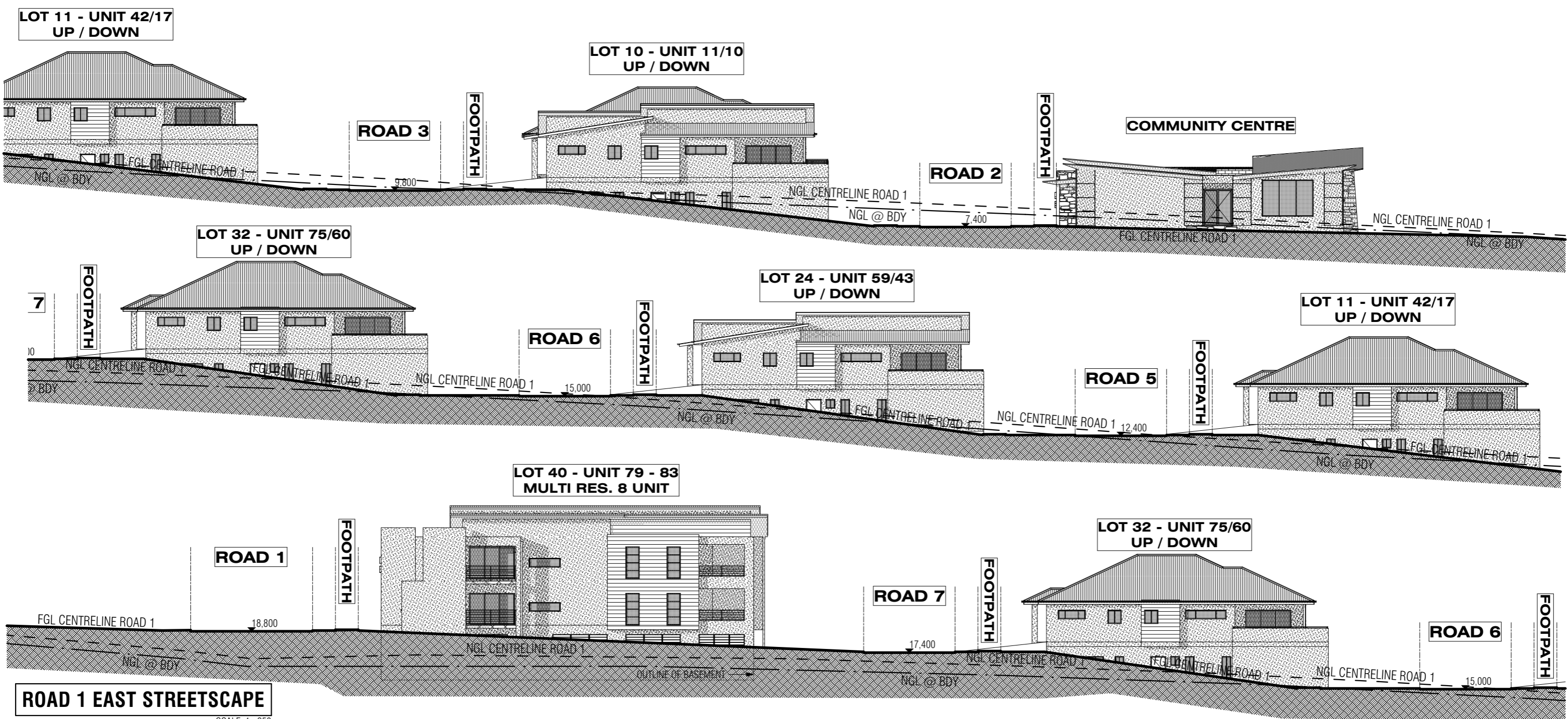
SECTION X - X
SCALE 1 : 100

EXTERNAL COLOURS

- EXTERNAL WALLS MILTON MOON
- EXTERNAL WALLS WESTERN MYALL
- ROOF FASCIA GUTTERS WOODLAND GREY

A 09/07/20 DUAL VILLA TYPE ADDED
DA 26/02/20 DA ISSUED FOR COUNCIL SUBMISSION
ISSUE DATE AMENDMENT

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DA	26/02/20	
ISSUE	DATE	AMENDMENT

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blackdraft333@gmail.com
mob 0449 75 88 66 abn 53 392 045 355

PROJECT
JOHNS ROAD RETIREMENT VILLAGE

LOCATION
**135 JOHNS ROAD
WADALBA**

CLIENT
TOCAE GROUP

DRAWING
STREETSCAPES 1

DRAWN
MLB

SCALE
AS SHOWN

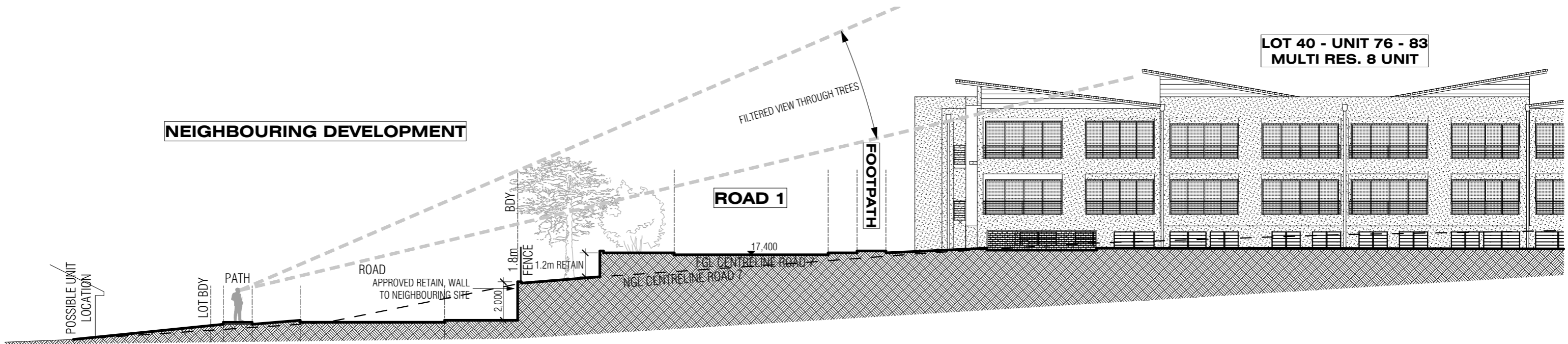
DATE
09 / 07 / 20

ISSUE
A

DWG No.
047

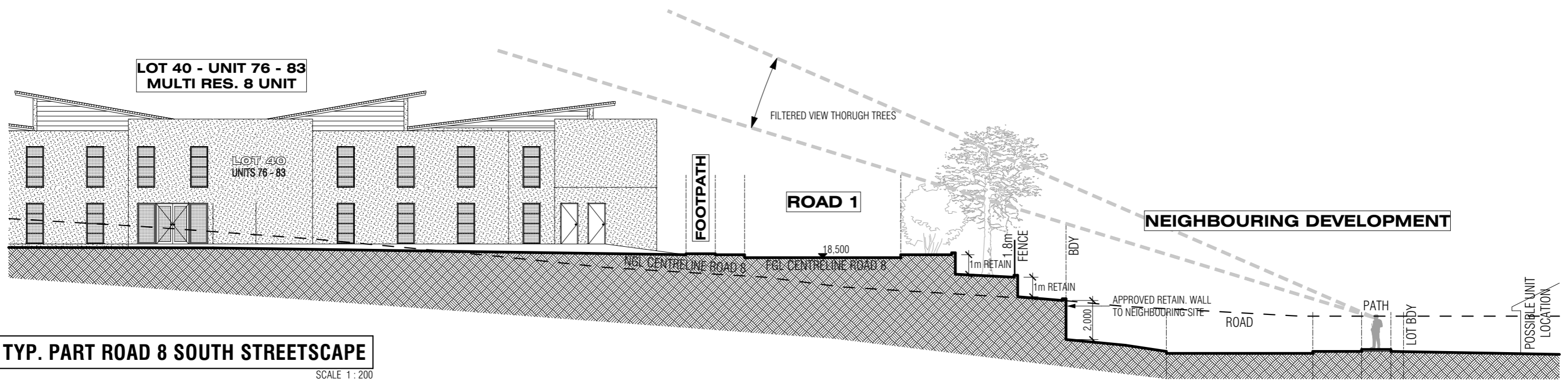
SHEET
047 / 51

JOB No.
TOC1901



TYP. PART ROAD 7 NORTH STREETSCAPE

SCALE 1 : 200



TYP. PART ROAD 8 SOUTH STREETSCAPE

SCALE 1 : 200

A	09/07/20	NGL's AND BDY RETAINING SHOWN RETAINING REDUCED ALONG WESTERN BDY LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
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PROJECT **JOHNS ROAD RETIREMENT VILLAGE**
LOCATION **135 JOHNS ROAD
WADALBA**

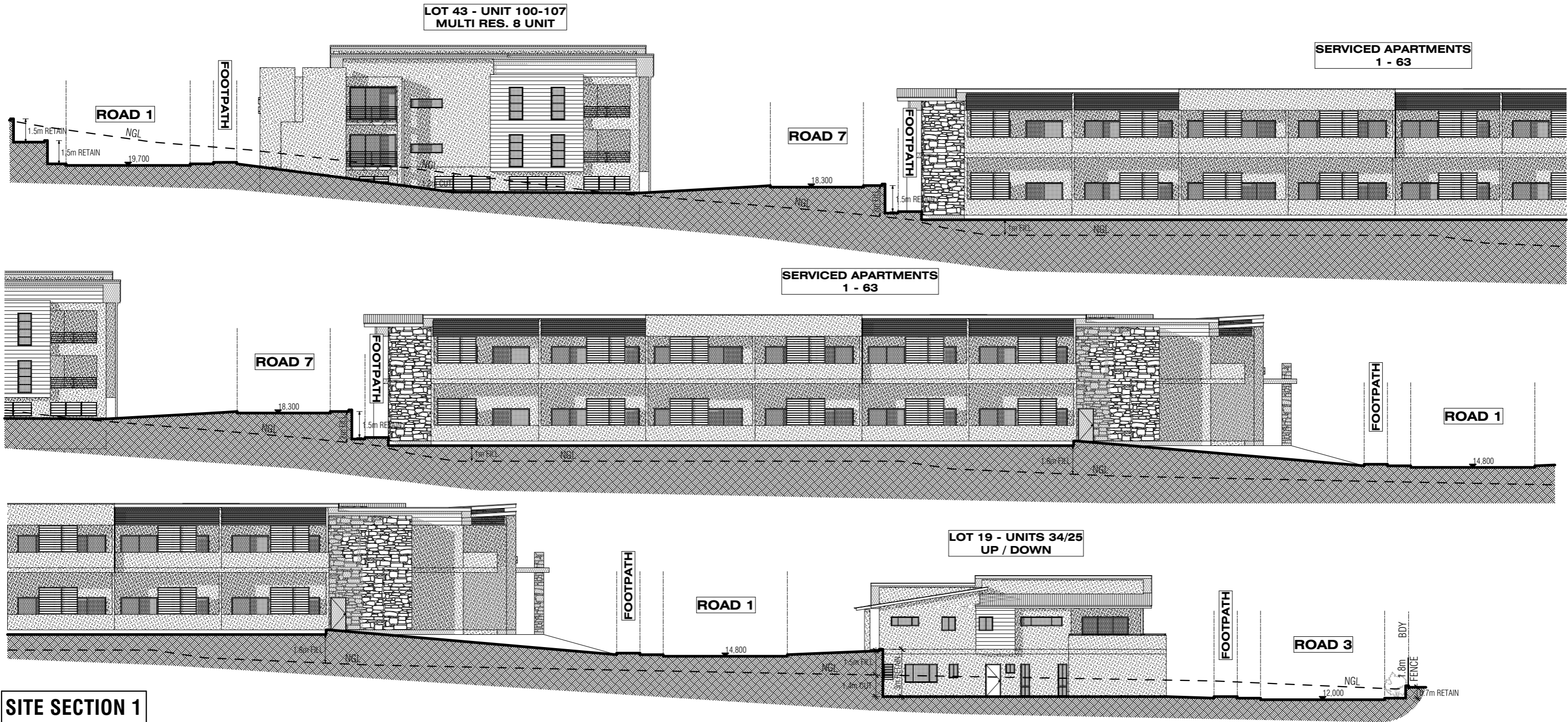
CLIENT **TOCAE GROUP**
DRAWING **STREETSCAPES 2**

DRAWN **MLB**
SCALE **AS SHOWN**

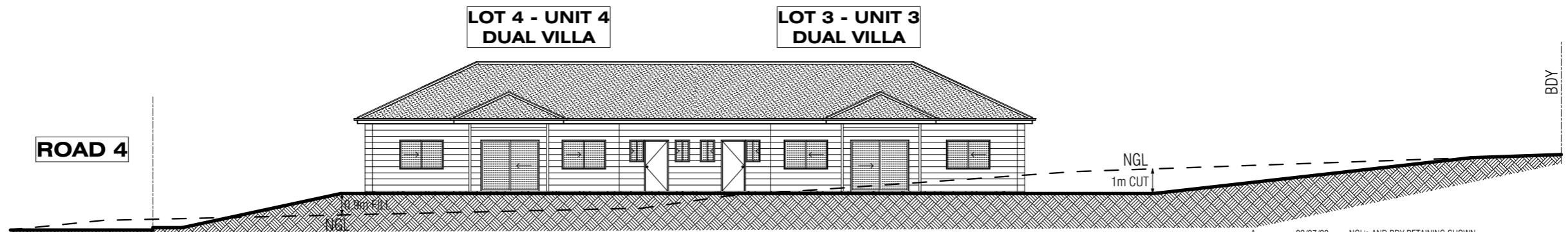
DATE **09 / 07 / 20**
ISSUE **A**

DWG No. **048**

SHEET **048 / 51**
JOB No. **TOC1901**



SITE SECTION 1
SCALE 1 : 250



SITE SECTION 2
SCALE 1 : 200

DA	09/07/20	NGL's AND BOY RETAINING SHOWN RETAINING REDUCED ALONG WESTERN BOY LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING ISSUED FOR COUNCIL SUBMISSION
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PROJECT **JOHNS ROAD RETIREMENT VILLAGE**
LOCATION **135 JOHNS ROAD
WADALBA**

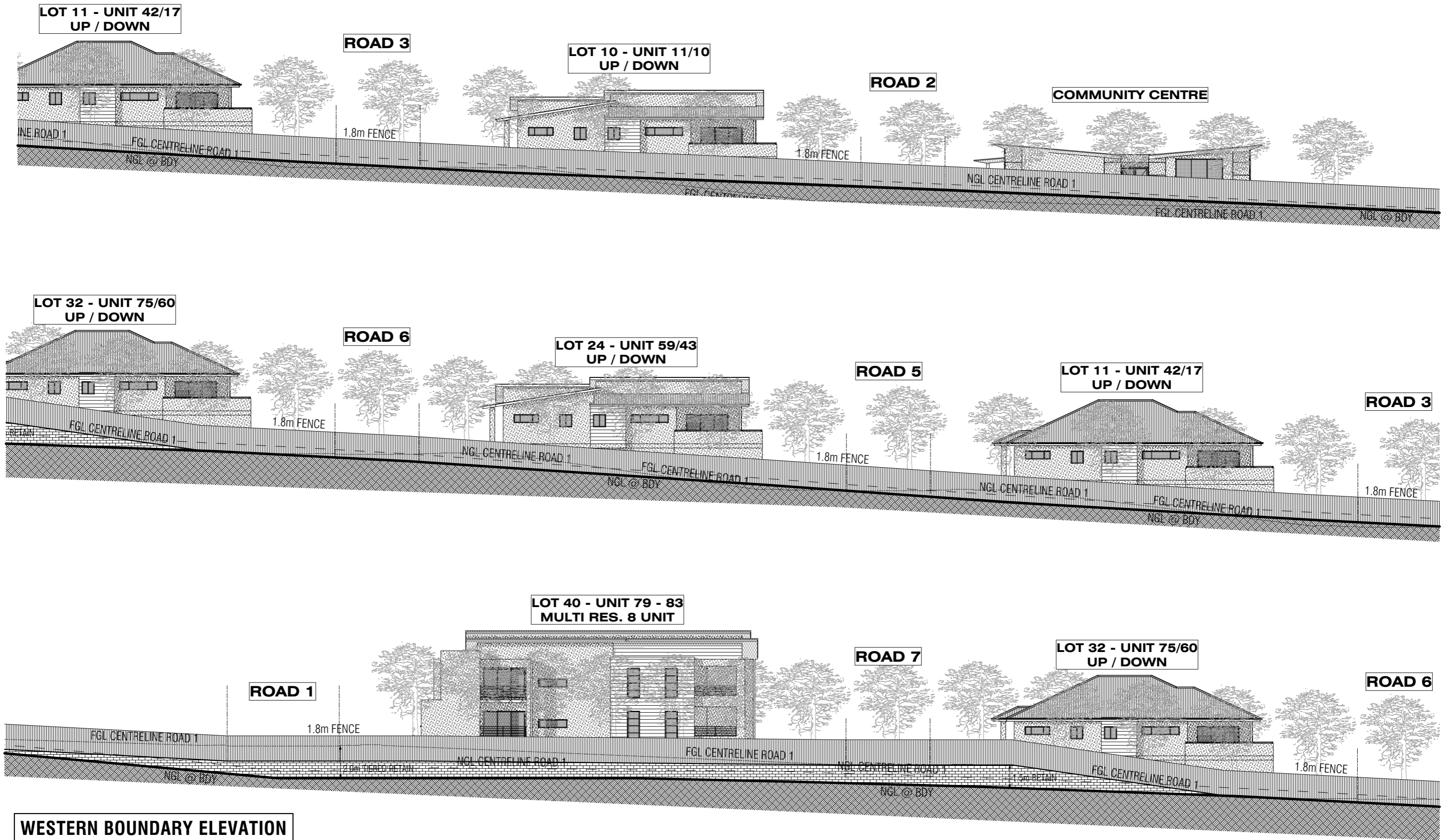
CLIENT **TOCAE GROUP**
DRAWING **STREETSCAPES 3**

DRAWN **MLB**
SCALE **AS SHOWN**

DATE **09 / 07 / 20**
ISSUE **A**

DWG No. **049**

SHEET **049 / 51**
JOB No. **TOC1901**



WESTERN BOUNDARY ELEVATION

SCALE 1 : 250

A	09/07/20	NGL's AND BDY RETAINING SHOWN RETAINING REDUCED ALONG WESTERN BDY LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING ISSUED FOR COUNCIL SUBMISSION
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PROJECT
JOHNS ROAD RETIREMENT VILLAGE
LOCATION
**135 JOHNS ROAD
WADALBA**

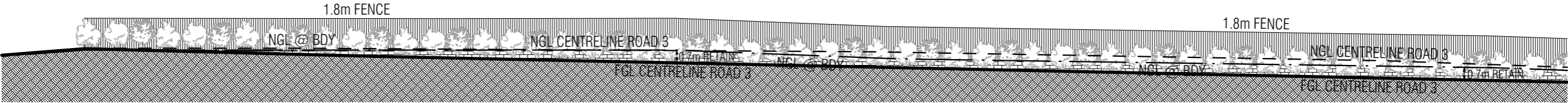
CLIENT
TOCAE GROUP
DRAWING
STREETSCAPES 4

DRAWN
MLB
SCALE
AS SHOWN

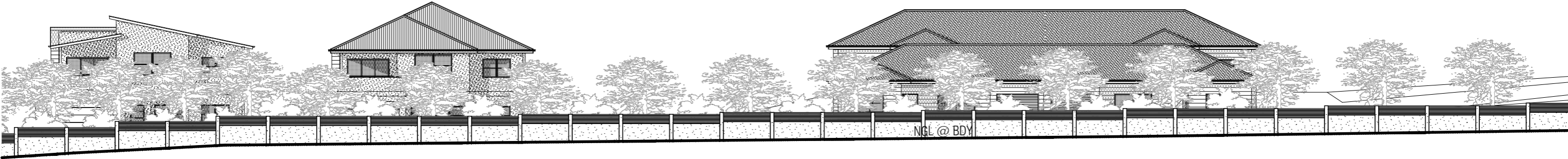
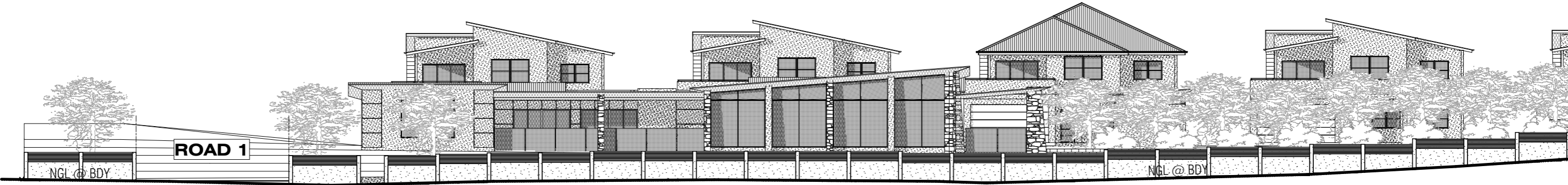
DATE
09 / 07 / 20
ISSUE
A

DWG No.
050

SHEET
050 / 51
JOB No.
TOC1901



ROAD 3 BOUNDARY ELEVATION
SCALE 1 : 250



JOHNS ROAD BOUNDARY ELEVATION
SCALE 1 : 250

A	09/07/20	NGL's AND BDY RETAINING SHOWN RETAINING REDUCED ALONG WESTERN BDY LOT 1 - 6 UNITS REMOVED TO REDUCE RETAINING ISSUED FOR COUNCIL SUBMISSION
DA	26/02/20	
ISSUE	DATE	AMENDMENT

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PROJECT **JOHNS ROAD RETIREMENT VILLAGE**
LOCATION **135 JOHNS ROAD
WADALBA**

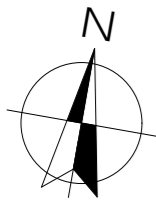
CLIENT **TOCAE GROUP**
DRAWING **STREETSCAPES 5**

DRAWN **MLB**
SCALE **AS SHOWN**

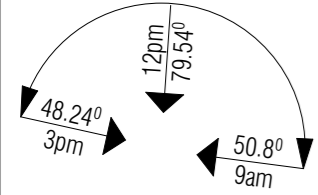
DATE **09 / 07 / 20**
ISSUE **A**

DWG No. **051**

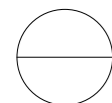
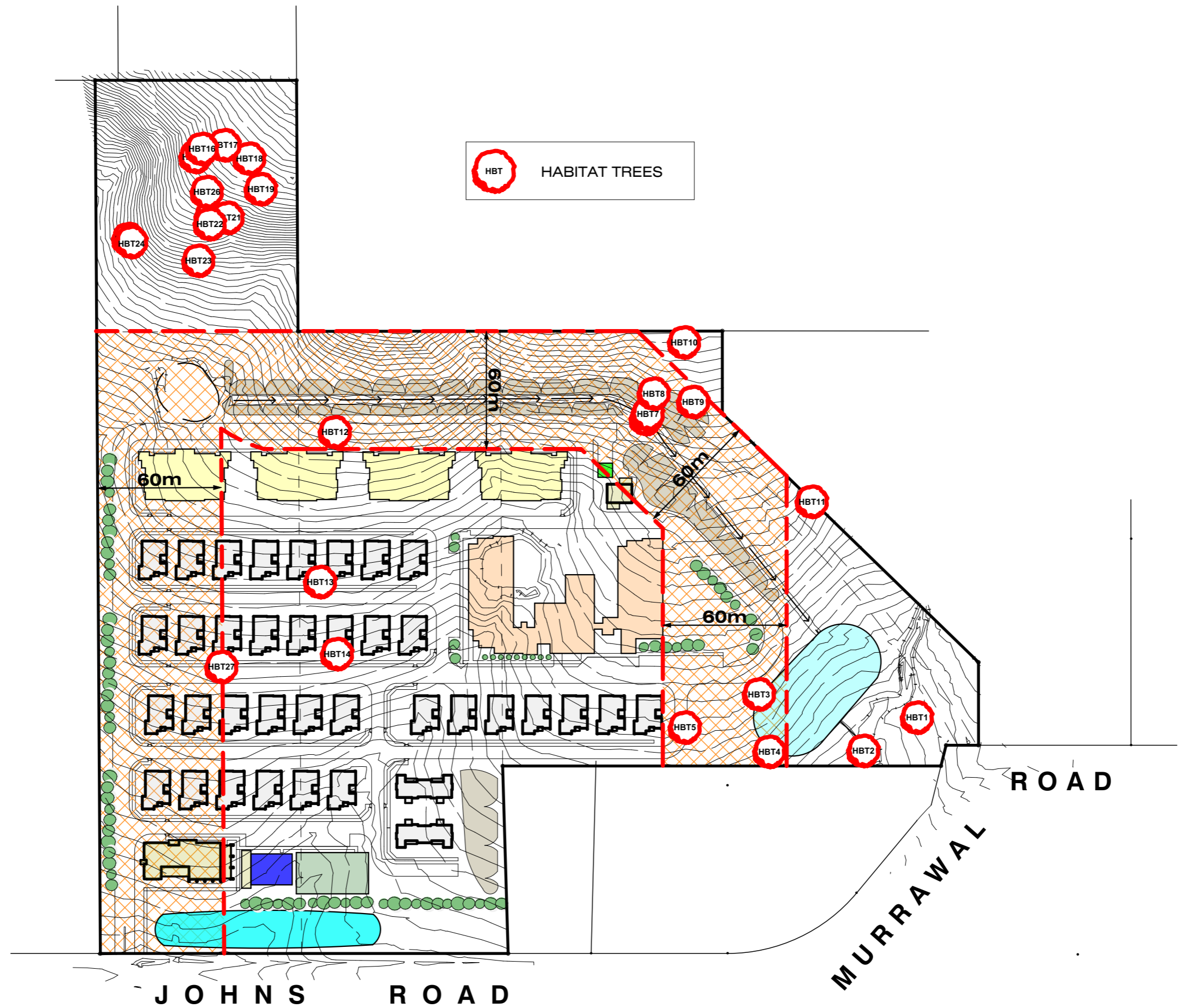
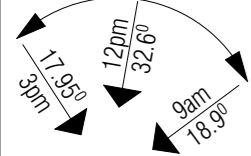
SHEET **051 / 51**
JOB No. **TOC1901**



SUMMER
SUN
ASPECT



WINTER
SUN
ASPECT

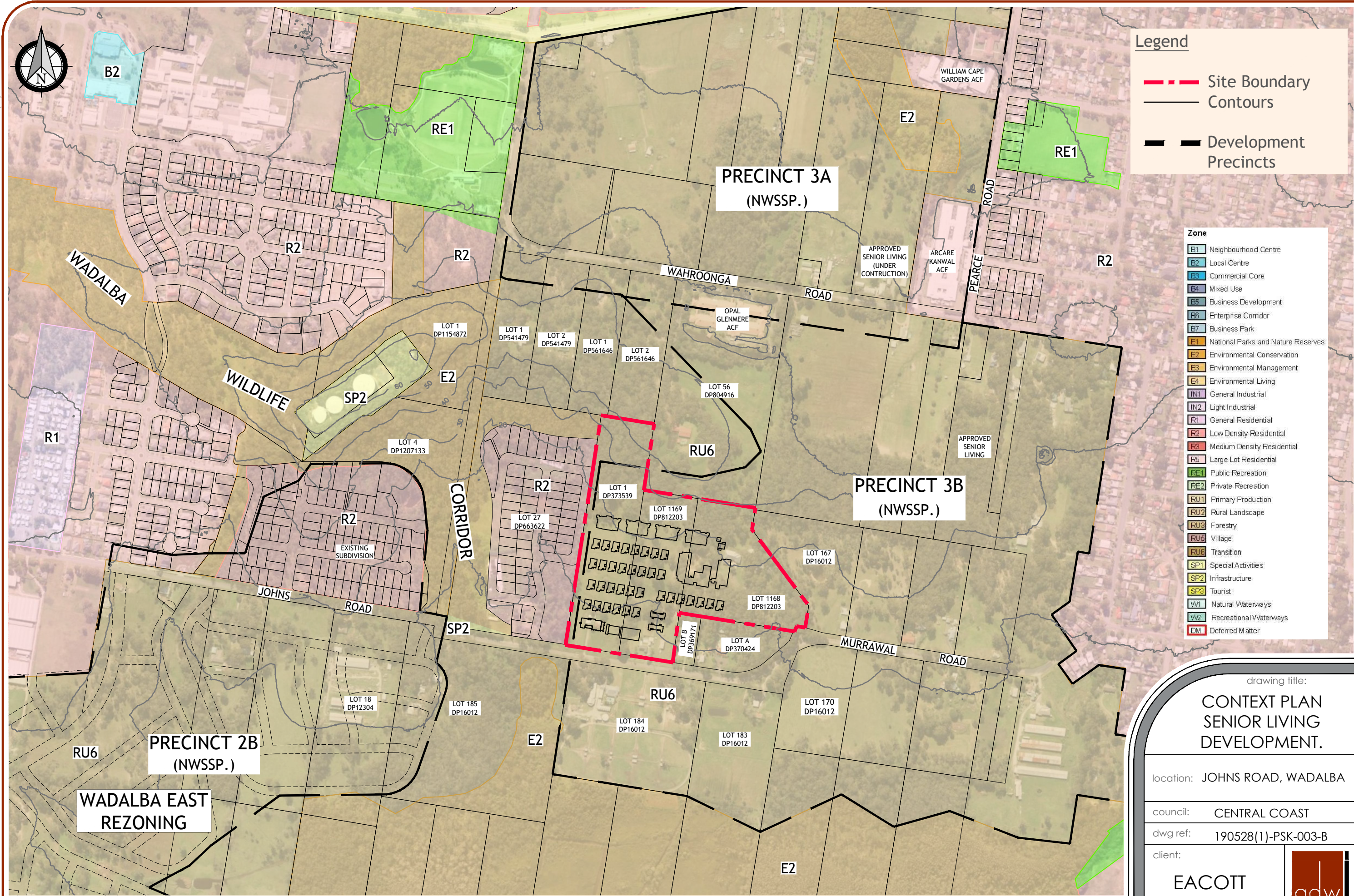


TREE RETENTION PLAN

SCALE 1 : 2000

Appendix B

CONTEXT PLAN



Legend

Site Boundary

Contours

- Zone
- B1

Neighbourhood Centre
- B2

Local Centre
- B3

Commercial Core
- B4

Mixed Use
- B5

Business Development
- B6

Enterprise Corridor
- B7

Business Park
- E1

National Parks and Nature Reserves
- E2

Environmental Conservation
- E3

Environmental Management
- E4

Environmental Living
- IN1

General Industrial
- IN2

Light Industrial
- R1

General Residential
- R2

Low Density Residential
- R3

Medium Density Residential
- R5

Large Lot Residential
- RE1

Public Recreation
- RE2

Private Recreation
- RU1

Primary Production
- RU2

Rural Landscape
- RU3

Forestry
- RU5

Village
- RU6

Transition
- SP1

Special Activities
- SP2

Infrastructure
- SP3

Tourist
- W1

Natural Waterways
- W2

Recreational Waterways
- DM

Deferred Matter

drawing title:

CONTEXT PLAN
SENIOR LIVING
DEVELOPMENT.

location: JOHNS ROAD, WADALBA

council: CENTRAL COAST

dwg ref: 190528(1)-PSK-003-B

client:

EACOTT

adw

johnson

central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100

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ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
B	09.07.20	INITIAL ISSUE	A.E.	C.S.	DATUM: AHD CONTOUR INTERVAL: 1m	0 125 250m SCALE: 1:5000 (FULL)	

- project management • civil engineering • infrastructure • superintendency • economic analysis • social impact • town planning • surveying • development feasibility • visualisation • urban design